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The
Guide
to

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Dear Readers

Welcome to the September issue! This month it will help you get the flat roof done without any faults. Our construction technology guidance gives the insight into the structure of the flat roof and its various types of covering and waterproofing. In all IBB Builders Merchants depots, you will get special discount on selected GRP system products and felt. September and October are the best time to finish your roof works before winter. Follow our roof building tips and check the example of the cost estimation done with our IBB Estimator app. In case of any question do not hesitate to contact our colleagues or us in IBB depots.

This issue is focused on the Fire Door Safety Week 2017 which will take place from the 25th September to 1st October. Following the Grenfell Tower tragedy, the Government announced a review of Building Regulations and Fire Safety with the fire safety tests of different cladding and insulation systems continuing. IBB Builder pledged to support the campaign and to spread the word about the importance of fire safety measures like for instance fire doors. More inside.

Dear Readers, this month issue is packed with recent industry news that is relevant to your trade or businesses. It is not shocking that there are skills shortages in the industry and both our readers and customers often complain about lack of workers for particular projects. On the positive note, the construction worker's salary is raising, and it is the best time to enter the industry now. The good range of apprenticeships and training is now available with many fast track routes that help to secure well-paid jobs.



In Building Regulation regular, you will find the valuable content on Competent Person Register. If you are not yet able to self-certify your work in compliance with Building Reg, here is how to get involved in the Competent Person Scheme (CPS). Also, worth reading is the Structural Safety Alert issued by the Structural Safety with regards to the sudden loss of ground support. Follow their tips to avoid future problems. Essential reads!

As many of you were on holidays during summer, I will briefly mention here on what was happening at IBB Builders Merchant last months. Apart of the exciting rebranding campaign, we were awarded this summer with the Business Excellence Award by Corporate Insider in the category Construction Material Supplier of the Year 2017. Thanks for your support! We have also decided to exhibit during the coming construction events- London Build 2017 and Build Show in Birmingham as a part of UK Construction Week 2017. Do not miss visiting us there and book your free tickets now! I'm sure many of you have already visited our rebranded depots and offices. Stay tuned for IBB Builders Merchants new website launching soon.

Magdalena Rosó
Editor



2017



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IBB Builders Merchant - Construction Material Supplier of the Year 2017

Business Excellence Awards 2017

The 2017 Business Excellence awards display recognition of some of the world's most prestigious firms. This year's winners have shown great commitment to striving to achieve the best results, which is backed by great client feedback collated during the nomination process. We are proud of each and every winner and we hope they continue to display excellence for the coming years.

The Awards team at Corporate Insider are honoured and extremely proud to publish a full list of winners and celebrate the accomplishment of the firms. Arianna Smith, Head of Corporate Awards is simply elated with the stature of this year's winners. Commenting on the vigorous level of competition this year, Arianna said: "We were simply overwhelmed with the volume of nominations received for this

year's Business Excellence awards. The judging panel had no easy task in selecting the winners, and I personally am very proud of each and every winner. It is always delightful to see how firms all over the world have developed and grown. And it is with great confidence to publish the 2017 Business Excellence Award Winners Guide. I look forward to visiting some of the winning firms on my travels in 2018."

IBB Builders Merchant is amongst the winners like Gearty & McIntyre, LLP, CPA, ColonialWebb, KBS Corporate, Bank of Cyprus, Fleet Source, EnvAero-space and many more.

The full winners guide can be found at:
www.corp-insider.com/business-excellence-2017-awards/



UK minimum wage rights and self-employed

The think tank, Resolution Foundation, makes proposal to the chief Matthew Taylor that Britain should extend the minimum wage to self-employed workers who cannot control their rate of pay easily. The Resolution Foundation is an independent research and policy organisation, which concentrates on developing policies to help those on low and modest incomes. According to Resolution Foundation, approximately half of 4.8 million self-employed workers are low paid or earn less than £310 a week. Such workers should be classified as self-employed and offered wage protection.

Matthew Taylor was asked by Prime Minister Theresa May to conduct the review on the UK's employment. The proposal of the Resolution Foundation is designated for construction workers, minicab drivers, hairdressers etc.

Conor D'Arcy, a policy analyst at the Resolution Foundation, said: "The UK's labour market has been very successful at creating jobs in recent years. However, far too many of those jobs offer very low pay and precious little security.

"This is especially true of the growing army of the self-employed. While many are higher earners who benefit from significant flexibility, around half fall below the low pay earnings threshold of

just £310 a week. The government can start by extending minimum wage protections to those self-employed people whose prices are set by a firm. This would mean that self-employed people in the gig economy would be given protection against extreme low pay for the first time ever."

Recommendations to support the self-employed

- Extending Statutory Maternity Pay at a cost of up to £82m and Statutory Paternity Pay at a cost of up to £18m;
- Extending contributory Jobseekers' Allowance to those who have paid Class 4 NICs at a pro t level of £25,000 for two years, at a cost of around £50m;

- Reopening plans to equalise NICs up to the 12% rate that employees pay, saving £1bn;
- Extending employer NICs to price-setting firms that take on self-employed contractors, possibly through a new levy; and,
- Reducing the tax advantages associated with self-incorporation by scaling back Entrepreneur's Relief and the Annual Exempt Amount, which together cost £6bn.

For more details download Resolution Foundation's publication here www.resolutionfoundation.org/app/uploads/2017/07/The-minimum-required.pdf

(Source: resolutionfoundation.org)

Submit-a-Plan

Submit-a-Plan is the LABC (Local Authority Building Control) national portal for making electronic and offline Building Control applications to any Local Authority in England, Wales and Northern Ireland.

The online platform has been designed as a single location for both the general public and professional users to submit Building Control applications directly to their intended Local Authority. Users can also track the progress of their application online via our dedicated portal DataSpace Live

The key features of Submit-a-Plan at a glance:

- Free of charge to use
- Works with all CAD applications and paper scans
- Eliminates sending multiple paper plans (when submitted electronically)
- Saves time and money
- Send an application at any time (available 24/7)
- Environmentally friendly
- All you require is web access

- Track the progress of your application online (when submitted electronically)
- Local Authority funded service
- Free of charge application assistance.

Here are few things that makes submit-a-plan a great tool:

- The platform makes applications easy by offering the option to save, print and download if necessary for future reference.

- The platform allows to add additional or revised documents to the already submitted application. The authority will be notified of the new addition/revision and can then check the application online in their own Submit-a-Plan Authority Account to view it.

- Once you have submitted an electronic application to an authority subscribed to Submit-a-Plan, you can keep eye on its progress in your Submit-a-Plan

account. Your authority should update the status of your application every time they complete a stage of processing it, and any time they view or download one of its documents, the activity is logged in the "activity" tab, bringing you some peace of mind that your application is both receiving attention and making progress. Please note only authorities subscribed to accepting full electronic applications with documents through submit-a-plan use these tools.

- Submit-a-Plan offers the option of requesting the site inspection

- The service is FREE of charge and available 24/7.

- Offline service allows applicants to: Find their Local Authority, Create and print and application for posting, Record all historic off and online applications in one account.

The Submitaplan.com service is developed, supported and hosted by Resolution Data Management Ltd and funded by your Local Authority. If you are not registered already simply visit submitaplan.com to set up the account. For more information visit resolutiondm.com *(Source: Submit-a-Plan)*



Recently, BS EN 131- the single British and European product standard covering all types of portable ladders has been revised. The changes that come with this revision will help improve the safety of ladders and make buying the right ladder simpler. This changes will affect all involved in ladders from builders, contractors to suppliers and health & safety professionals.

The Ladder Association has issued a comprehensive guide explaining what are the changes and it consists of :

- an insight into the features of ladders manufactured to the new standard
- guidance on the use of ladders to withdrawn standards
- advice on buying ladders

EN 131 is the Euro Norme (EN) and all CEN member countries are obliged to adopt it as a national standard. In Great Britain, EN 131 will replace BS 2037 and BS 1129 and after the transition period certified ladders will no longer be available. BS EN 131 is the UK version of EN 131 Standard. It is divided into Professional and Non-Professional Standard. The changes implemented requires to improve the safety of ladders:

- Dimensional changes will improve stability
- Increased strength test requirements
- New requirements for ladder durability
- All ladders have now the same minimum capacity of 150kg

In case you will need to replace your existing ladders due to their damage always shop with the reputable company, check the specification for the EN 131 Standard. Note that during the transition period you will be able to buy ladders compliant with previous standards.

What is the LadderCard?

The LadderCard is the effective way of showing proof of training for work at height from ladders. Ladder Association provides the training scheme which provides the knowledge and skills on how to safely work at height. The completion of the course allows for the LadderCard to be issued what confirms the competence required by the Work at Height Regulations.

Visit the Ladder Association for more details on available courses. If you need more details download the comprehensive guide at www.ladderassociation.org.uk

Changes to ladder standards

#iBuiltThis2017 Campaign

FIS Skills, the specialist skills delivery capability of Finishes and Interiors Sector (FIS) have announced the launch of their flagship #iBuiltThis2017 campaign. A visual campaign, image led and run completely on social media utilising the Instagram and Twitter platforms for a period of three weeks, with the submissions opening from the 4 September and closing on 24 September and winners announced at the UK Construction Week Exhibition between 10 – 12 October 2017.

The campaign is designed to get young people, the construction industry and the public to participate and show how proud they are of their contribution to the UK built environment in a fun, exciting and light-hearted way. The campaign would like to showcase construction as the exciting and diverse sector it is with its huge breadth of disciplines and career opportunities to help attract new entrants.

Helen Yeulet director of FIS Skills said “this is a part of FIS Skills’ ongoing vision to drive change and a better understanding of the industry and the opportunities within it. The competition aims to utilise the pride in an individual’s achievements to assist in improving perceptions and image, increase careers awareness and engagement nationally”.

To encourage young people to get involved, the competition has been divided into three age groups: 13 years and under, 14-18 years and 19

year and over with some great prizes lined up. FIS Skills would like entrants to share a picture of themselves with an image of a completed project they have built, or helped to build, using the hashtag #iBuiltThis2017 on the FIS Skills social media platforms of Instagram (@fisskills) and Twitter (@FisSkills) or alternatively you can enter by visiting their website. Entrants need to insert their details in the comments section, answer their relevant age group question and submit.

Encouraging photos of new buildings of any type, whether they’re made from Lego, Meccano, sand or even chocolate. Images of iconic buildings and breath taking fit-out and interiors will be used to inspire people to see construction as a career of choice. The entries received will be diverse in both built environment images and the roles involved in their construction and images will be used to educate new entrants afterwards.

Support for this campaign has been phenomenal across the industry with UK Construction Week as media partners. Other sponsors and partners include Construction Industry Council (CIC), Building Heroes, Home Builders Federation (HBF), Silver Trowel Ltd, Career Colleges Trust, NVQ Training Centre Ltd, Tapper Interiors Ltd, Vela Training Ltd, British Woodworking Foundation (BWF), Build UK, the Civil Engineering Contractors Association (CECA), Construction Products Association (CPA), Federation of Master Builders (FMB), Hire Association Europe (HAE), Thermal Insulation Contractors Association – Best Practice in Asbestos Control (TICA-ACAD), Yourfeed.com and Encon NevillLong.

A great line-up of judges is being proposed for the competition that will reflect the industry and will be announced in the coming week along with the prizes for the competition.

David Frise CEO of FIS said: “the only way to close the skills gap and improve industry perceptions is through strong collaboration and working together. This campaign provides the partnerships to join the dots across the industry with educators and potential new entrants and engage with young people in a fun and exciting new way”

How will the #iBuiltThis2017 campaign work?

Submissions will be accepted over a three week period for all age categories.

1. Entrants are requested to take a picture or selfie of themselves with the image of their completed project they built or helped to build using the hashtag #iBuiltThis2017. The hashtag must be included in the picture they submit for the entry to be valid.

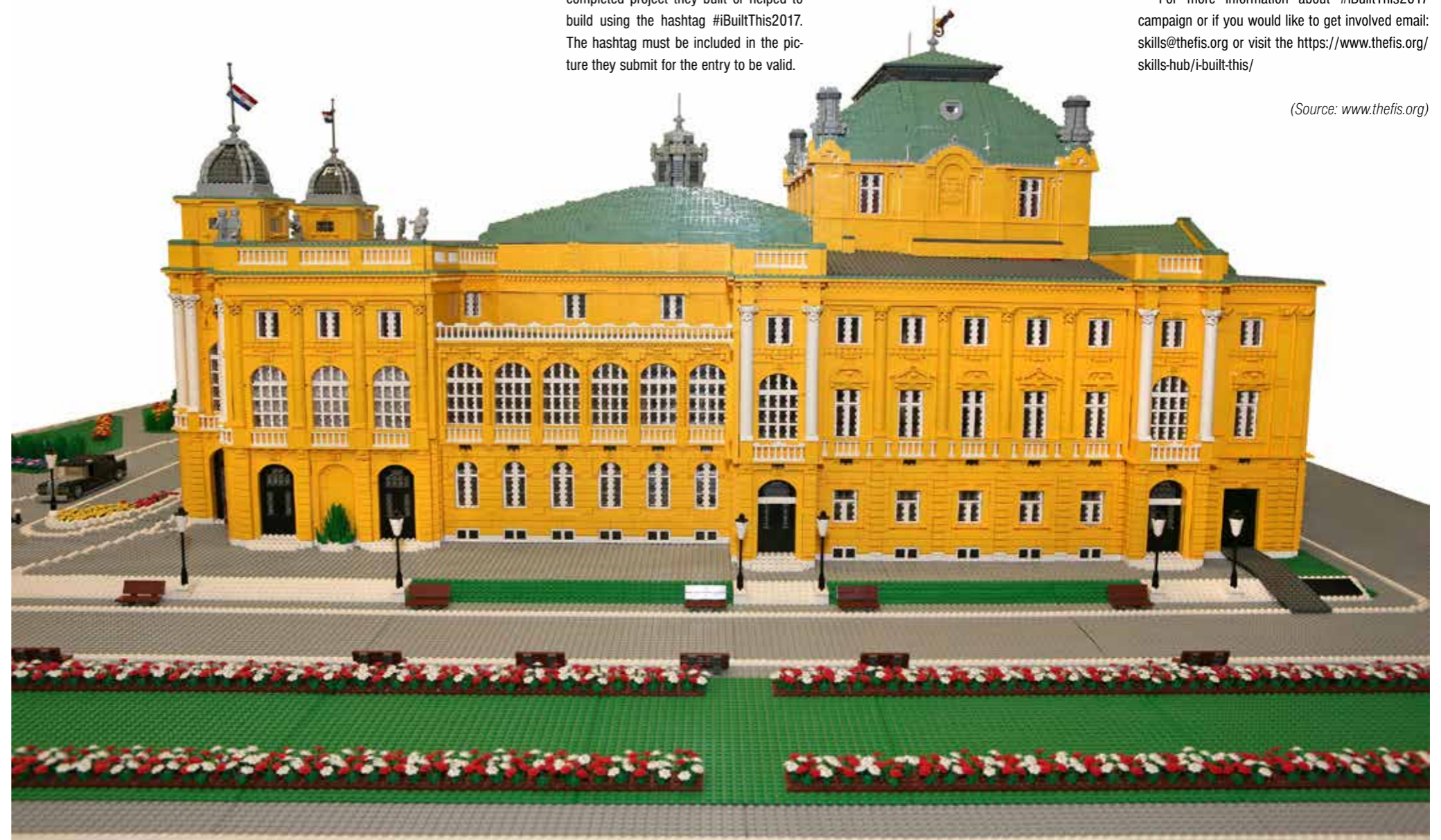
2. Entrants are requested to submit their entries to the FIS Skills social media platforms of Instagram (@fisskills) and Twitter (@FisSkills) or alternatively they can enter by visiting our website when the platform is ready. Answer their relevant age category question and insert their details in the comments section (name, site/location and what they did on the project in the comments section)
3. Entrants must like and follow the FIS platform they submit to.

What are the #iBuiltThis2017 campaign timescales?

- Entry submissions for all age categories will run simultaneously from the 4th September to the 24th September.
- Voting period for all age categories will run from the 25th September – 2nd October.
- The judging panel will select the winners from the finalists selected from the public vote on 3rd October.
- Winners will be announced between 10th – 12th October and prizes awarded in November 2017.

For more information about #iBuiltThis2017 campaign or if you would like to get involved email: skills@thefis.org or visit the <https://www.thefis.org/skills-hub/i-built-this/>

(Source: www.thefis.org)





Skills Shortages

hit the industry

Skills shortages in the construction industry is not a hot news. Warnings about the lack of the qualified and experienced labour have been issued long before the referendum vote. According to the recent research by the Federation of Masters Builders (FMB) the access to skilled workers is spreading through building trade, from bricklayers and carpenters to other key trades.

The FMB's latest State of Trade Survey for 2017 shows that:

- 60% of construction SMEs are struggling to hire bricklayers
- 58% are struggling to hire carpenters and joiners
- 45% are struggling to hire plumbers

Brian Berry, Chief Executive of the FMB, said: "We've been experiencing a severe shortage of bricklayers and carpenters for quite some time - these latest statistics show that skills shortages are now seeping into other key trades such as roofers and plumbers. Indeed, of the 15 key trades and occupa-

tions we monitor, 40% show skills shortages at their highest point since we started to feel the effects of the skills crisis in 2013 when the industry bounced back post-downturn. This growing skills deficit is driving up costs for small firms and simultaneously adding to the pressure being felt by soaring material prices linked to the weaker pound."

The Government White Paper aims in building million homes by 2020 and businesses have to ensure they have skilled labour for the new contracts. The Investment in training and apprentice is a win-win option as it will bring home grown skilled labourers into the market. Since years far too few apprentices are entering the sector and situation is worsened by the fact that approximately 500,000 current construction workers are expected to retire over the next decade.

All these means that the construction industry currently offers fantastic opportunities for young people. Salaries are increasing according to the Royal Institution of Chartered Surveyors (RICS) which reports that workers in construction saw their wages increase by more than 6% in 2015 - a growth rate three times larger than the rest of the workforce.

Currently one in three construction businesses employ migrant workers, while half of London construction firms are owned by foreigners. Unfortunately, shortages in skilled migrant workers are expected to rise due to Brexit.

Moreover, the possible migrant caps might put even more pressure. Migrant workers have comparable or better skills than British workers while they are more readily available and have better work ethic. Most of businesses who employ workers from outside the UK say they do so because there are not enough skilled applicants from the UK, rather than for cheaper labour.

Also professional side of the construction industry is suffering with surveyors, architects and engineers demanded. The construction sector is loosing to other industries where graduates with quantitative skills prefer to apply due to better working environment, more stable conditions and competitive salaries.

Young people prefer a career in medicine, law or finance. But what about engineering, project management, quantity surveying, town planning and office management? How to design and build adaptable places that will grow and flex with a changing community and climate, in already crowded spaces, needs bright ideas and clever thinking.

Also, The Royal Institution of Chartered Surveyors (RICS) recently released a report about the skills shortages which predicts that up to 27000 construction projects might be affected by a lack of qualified workers. The report states that the skills shortage has reached its highest level since 1998, with the highest demand being for bricklayers and quantity surveyors.

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Fire Door Safety Week 2017

Fire door is not simply a door! It is the specifically designed fire safety device. Fire protection systems in buildings vary from inbuilt (passive) fire protection to sprinklers and fire alarms.

Fire doors are one of the most critical elements of passive fire protection, that stops fire and smoke spread for some period of time that might be enough to safely evacuate residents. There are approximately 3 million new fire doors installed every year in the UK. However, at the same time, fire doors often remain neglected, downgraded on the building specification or not installed properly.

Fire Door Safety Week runs every year to :

- raise awareness of the critical role of fire doors
- draw attention to poor installation and maintenance
- encourage often fire safety inspections
- educate about fire safety
- raise initiative

Fire Safety Week is supported by a wide range of organisations and IBB Builders Merchant and IBB Builder also pledged to support it. Fire Door Safety Week is invented by the British Woodworking Federation, BWF-CERTIFIRE

Scheme and Fire Door Inspection Scheme (FDIS).

In this edition, campaigners of the Fire Safety Week 2017, demand public register of Responsible Persons.

Under the Regulatory Reform Fire Safety Order (2005), the responsibility for maintaining fire safety in non-domestic buildings falls to the Responsible Person. In case of the workplace it is the employer, the occupier or the owner of the premises depending on the contract. In all other premises the person or people in control of the premises will be responsible. If there is more people responsible for maintaining premises all must cooperate as all must be hold responsible.

The Responsible Person must:

- Ensure that a fire safety risk assessment is carried out and reviewed on a regular basis
- Identify and record the fire hazards
- Identify and record the people at risk
- Evaluate, remove or mitigate the fire safety risks
- Prepare an emergency plan and provide training
- Review and update the fire risk assessment regularly

The Building Regulations provide guidance and requirements for fire safety and for England and Wales these are included in Approved Document B, for Scotland Technical Handbook and for



Northern Ireland these are in Technical Booklet E.

In the shadow of the Grenfell Tower devastation, Fire Door Safety Week campaigners are renewing their call for a publicly available national register of Responsible Persons for fire safety in rented accommodation. The register would require the name of the individual who has legal responsibility for fire safety in a building to be registered on a national database. Their name and contact details would be prominently displayed in the building to help tenants report any concerns.

In turn, the Responsible Person should sign a formal acknowledgement of duty of care and meet a mandatory minimum level of competence, says the British Woodworking Federation (BWF), organisers of the annual Fire Door Safety Week campaign.

Hannah Mansell, spokesperson for Fire Door Safety Week, who is also BWF technical manager, chair of the Passive Fire Protection Forum and a trustee of the Children's Burns Trust, says: "When we start digging, the identity of the Responsible Person is often a mystery. It can become very complex trying to identify who it is, especially in organisations that own or manage vast housing stock.

"Although the Fire Safety Order took effect over 10 years ago, our research shows that tenants don't know who to report fire safety concerns to. Even worse, when we surveyed those who are responsible for fire safety, half of them didn't even know or were unclear about their role.

"Under the Fire Safety Order, Responsible Persons have to ensure that a regular fire risk assessment (FRA) is carried out by a competent person and is documented. "The FRA should examine all aspects of fire safety management,



including active and passive fire protection measures, signage, means of escape and the specific fire plan procedures.

"Their responsibilities also include acting on improvement advice and creating the emergency fire plan for the building, the key to this is arming the occupants with the knowledge of what to do in an emergency. "Where in-depth and expert knowledge is lacking, the Responsible Person has a duty to engage someone with the relevant expertise to be able to implement or advise on key areas.

"There needs to be crystal clarity about the Responsible Person and a total transformation of attitude towards fire safety of tenants in rented accommodation.

"By identifying the Responsible Person and providing their contact details, occupants become empowered to report any concerns they have about the fire doors in their buildings. This would also ensure that those responsible for keeping tenants safe from fire know their duty

and are made aware of issues directly."

The call for a register of Responsible Persons was first made following the inquest into the death of Sophie Rosser, 23, who died in 2012 following a fire in her block of flats in London. At her inquest, the Coroner was frustrated in her attempts to allocate the blame to any particular person or organisation.

Research last year confirmed the BWF's fears that little has been done to address this problem. More than half of all tenants had no idea who the Responsible Person was for the building where they lived and even more worryingly, two thirds of low income households renting flats had never been given the emergency fire plan information.

Fire Door Safety Week, now in its fifth year, will run from 25 September to 1 October and aims to raise awareness about the role of third-party certificated fire doors in preventing life changing injuries and the legal responsibilities of managing fire door safety. It will focus on promoting awareness of the critical role of fire doors in high rise buildings, houses of multiple occupancy and other types of shared accommodation. The campaign will be giving advice, hosting events and sharing useful resources. It will also be signposting tenants as to where they should be reporting their fire safety concerns.

So far, the campaign has confirmed cross sector support from a wide range of organisations including the fire and rescue services, housing associations, charities, BWF members, fire safety professionals and organisations from every corner of the UK.

Further information and advice for landlords and building owners can be found at www.firedoorsafetyweek.co.uk

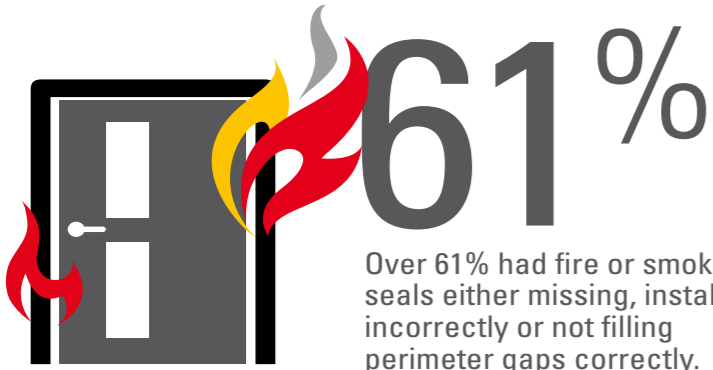




5 MOST COMMON FIRE DOOR FAULTS



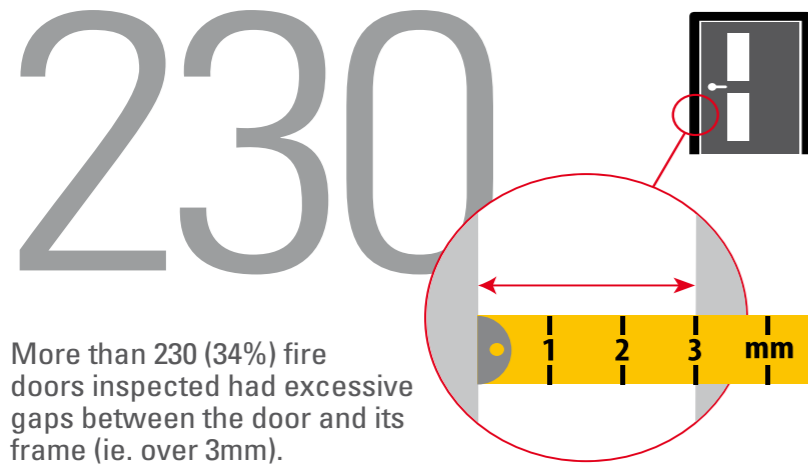
Qualifying Fire Door Professionals



Over 61% had fire or smoke seals either missing, installed incorrectly or not filling perimeter gaps correctly.



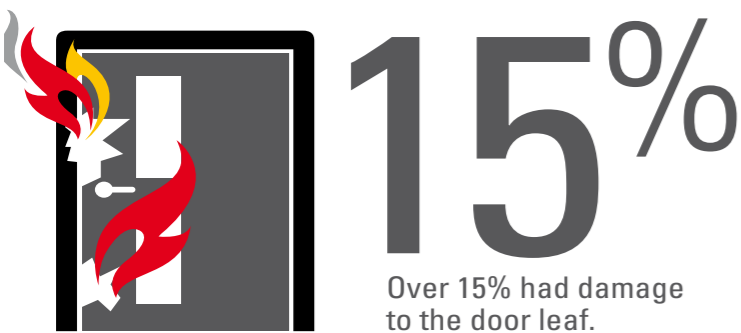
Over a third had incorrect signage.



More than 230 (34%) fire doors inspected had excessive gaps between the door and its frame (ie. over 3mm).



Almost one in five had unsuitable hinges.



Over 15% had damage to the door leaf.

677 doors were inspected at 31 sites and 2506 faults were identified

To find a fire door inspector visit www.fdis.co.uk/inspector

A scheme delivered by the BWF-CERTIFIRE Scheme and the Guild of Architectural Ironmongers



Source: Fire Door Safety Week 2017

BUILDING MATERIALS



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Competent Persons Register

Competent Person Schemes (CPS) were introduced by the UK Government to allow individuals and enterprises to self-certify that their work complies with the Building Regulations as an alternative to submitting a building notice or using an approved inspector.

A Competent Person must be registered with a scheme that has been approved by The Department for Communities and Local Government (DCLG). Schemes authorised by the DCLG are listed on its website at <http://www.communities.gov.uk>

The Competent Persons Register (CPR) represents all of the contractors in the building services industry that have been assessed as being competent by a government authorised certification scheme. Contractors who are on the register are assessed on the regular basis to confirm the standards of their work and its compliance with the Building Regulations.

The construction worker who is registered with a scheme can self-certify that their work complies with buildings standards and can deal with building control issues, like objections. He can communicate with the local authority on behalf of the client and provide a compliance certificate within 8 weeks of completion.

Competent person schemes are covered by the insurance-backed warranties and complaints procedures in case of disputes.

There are number of jobs that have to be notified to and approved as being compliant with Building Regulations by the Local Authority Building Control or a private sector Approved Inspector, unless carried out by installers registered with a Competent Person Scheme who can self certify that their work is compliant.

To find the competent worker visit www.competentperson.co.uk or for electrical work you can visit www.electricalcompetentperson.co.uk.

Why is it recommended to use an installer who is register on the Competent Person Register?

- installer registered with a Competent Person Scheme is qualified to carry out specific types of work in accordance with Building Regulations and should both notify the local authority of the work and issue you a certificate of compliance with Building Regulations either directly or through their scheme operator. If you do not receive a certificate within 30 days of completion contact the Competent Person Scheme operator that your installer is registered with and they may be able to help you resolve this.

- If you do not use an installer registered with a Competent Person Scheme then you will have to submit a building notice or full plans application and pay a fee to have a Building Control Body come and inspect the work you have carried out.

- You will be given financial protection to cover the event of noncompliant work being found where the installation company has gone out of business

Why is it important to comply with the Building Regulations?

- If you do not comply the work will not be legal. You could be prosecuted and could face unlimited fines.

- The work may not be safe, could cause health problems, injury or even death. It may also not meet energy efficiency standards.

- If work is found to be faulty your Local Authority could insist you put it right at your own expense.

- If the work has not been notified to a Building Control Body or carried out by a Competent Person Scheme registered installer the Local Authority will have no record that the work complies with Building Regulations. These records will be important when you come to sell your home as you may be asked to provide certificates of compliance with the Building Regulations. The competent Person Scheme is giving the advantage of having the work done according to building regulations and being issued with the completion certifi-

cate at the same time. Further consumer protection can be offered by additional schemes like for instance Microgeneration Certification Scheme or Trust Mark Scheme. Here are randomly selected schemes for the specific works like for instance:

- Installation of cavity wall insulation: Blue Flame, Certass, Certsure, CIGA, NAPIT, STROMA
- Installation of solid wall insulation: BBA (including hybrid), Blue Flame (including hybrid), CERTASS, Certsure (including hybrid), NAPIT (including hybrid), STROMA
- Installation of gas appliances: Gas Safe Register
- Installation or replacement of hot water and heating systems: APHC, Benchmark, BESCA, Blue Flame, Certsure, Gas Safe Register, HETAS, NAPIT, OFTEC, and STROMA

All competent workers can be found here www.competentperson.co.uk or www.electricalcompetentperson.co.uk.

Remember that Building Regulation is different from planning permission and on many occasions both are required.

Examples of work covered by Building Regulations The Building Regulations 2010 cover the construction and extension of buildings.

You might also need building regulations approval for many alteration projects, including if you plan to:

- replace fuse boxes and connected electrics
- install a bathroom that will involve plumbing
- change electrics near a bath or shower
- put in a fixed air-conditioning system
- replace windows and doors
- replace roof coverings on pitched and flat roofs
- install or replace a heating system
- add extra radiators to a heating system

The above is not a full list of works and we recommend to always check with Building Control body.

More information can be found on www.planningportal.gov.uk

Structural Safety Alerts are produced by Structural-Safety* incorporating CROSS (Confidential Reporting on Structural Safety) and SCOSS (Standing Committee on Structural Safety) and the HSE (Health & Safety Executive). Structural Safety provides an insight into problems encountered on-site including post failure analysis that identifies what went wrong.



Structural Safety Alerts

Sudden Loss of Ground Support

CROSS (Confidential Reporting on Structural Safety) and SCOSS (Standing Committee on Structural Safety) and the HSE (Health & Safety Executive) provides guidance on precautions that can be taken to identify the potential for sudden loss of ground support. The alert is aimed at the building owners, developers, contractors, architects and structural engineers who are involved in construction projects.

SCOSS has reported several incidents of unstable ground below structures where voids have opened up. In March 2017, press reported that Pinner Primary school in London had to close due to chalk mines discovered beneath it. Voids appearances have been noted in incidents near Newcastle, Greenwich in London or Manchester.

If such a void will developed under a bridge foundation the collapse of the building will not be avoided. In the UK, there are several potential

causes of underground voids. Voids might developed where coal has been mined in abandoned mine or quarries. Cities like Bath or in Cheshire ground extractions are excessive. Another reason for voids occurrence is the leakage and washout from degrading drainage systems.

- The hazard of the ground loss is difficult to predict and might occur without warning
- It can affect the public
- It can occur due to wash out from drains or natural causes

The mitigation measure is the careful inspection and the designers are cautioned:

- Be aware of the hazard. In its broadest definition, this is: 'sudden loss of ground support'. A number of causes are possible.

- Consider how gross movement might be triggered by severe weather.
- Ensure all site investigations include searches of historical data bases for potential underground workings such as mineworkings and services. Local Building Control officers may be acquainted with local activity. Obtain a commercially available coal mining or ground stability report.
- If there is reason for concern, ensure the Site Investigation includes ground probing or geophysical surveying such as ground penetrating radar seismic, electrical resistivity or microgravity methods.
- Be aware of the possibility of wash out from leaking culverts, drains, sewers, water mains or pumping mains. As for mines, the exact pipeline location may be unknown, so on site construction may reveal more information.





- If piped services are close to foundations, consider the risk (and consequences) of wash out. Be especially careful if large or high-pressure pipelines are close to isolated shallow foundations which support significant structure (e.g. bridges).
- For all key infrastructure components ensure regular inspections, monitoring for signs of movement. Exercise caution if foundations are exposed to hazards but cannot be checked. Investigate any signs of movement.
- Consider the sensitivity of the design to foundation disturbance and make sure the structure is 'robust'. When doubts exist, opt for foundation forms that are less vulnerable to credible ground loss events (e.g. rafts).
- Ensure structures sensitive to the effects of climate change, such as increased flood potential, are reviewed for the potential to need enhancements to their foundations.
- Ensure all site investigations are robust in their consideration of the potential for the ground to be subject to undermining from soluble subsurface features such as limestone, gypsum and chalk.

Source: *The Institution of Structural Engineers, the Institution of Civil Engineers and the Health and Safety Executive*

For more information visit the www.structural-safety.org

The Guide to



Flat Roof Construction

The flat roof should be carefully designed and build to avoid leakages, thermal movement, membrane detachment or flashing defects. It is important to prepare roof structure and install roof covering adequately. The structure should last at least 60 years, while roof coverings often are with at least 15 years guarantee.

We can distinguish between three types of flat roofs based on the insulation method - warm deck and cold deck or hybrid roof. In case of a warm deck, insulation is placed above the roof deck and below waterproofing. In case of a cold deck, insulation is placed between the flat roof joists at ceiling level. The hybrid roof is when the ventilation gap is above the warm roof what will eliminate the moisture build up. It is a warm roof with air flow.

When it comes to roof coverings, we can choose from felt, single ply or rubber and GRP. Each option requires a different method of installation.

Flat roof deck structure

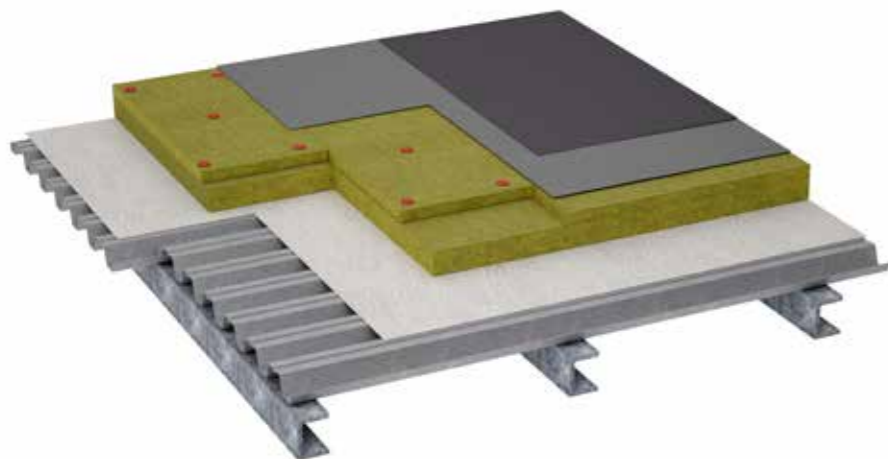
The roof deck construction is usually made of roof rafters, timber joists or steels laid across two walls. Roof framing and structure design should be installed in compliance with Building Regulation, British Standards, Eurocodes and others. Roof deck structure needs to have the connection to the walls. Steel beams or rafters are installed with the joists hangers or built into the walls to ensure the stability of the roof structure. Joist hangers are inserted into walls to carry the end of the rafters. The battens are installed between the rafters or steel beams or on top of them. Battens should be at least 1200mm in length and supported at each end and intermediately by at least three rafters, trusses or walls. Nail fixings should be positioned along the centre of the batten and rafter below. The overlap of battens onto

the outer skin of brickwork is required for The roof construction requires lateral support in the form of lateral restraint straps. Lateral restraint straps are required for flat roof member levels or in case of the pitched roof at ceiling joist levels. To achieve the slight slope of 1:40 in the flat roof construction it is recommended to install battens on top of the roof joists or install tapered insulation. Lead flashing is used to seal the joint between the wall and roof structure properly. It is inserted into the horizontal joint of the existing wall and finished with mortar. It is recommended to apply a coat of patination oil to lead flashings after installation.

Flat roof insulation thicknesses

The uninsulated flat roof has the U-value 1.5W/m²K and the insulation of 100-160mm above the structural level will give the U-value of 0.25W/m²K or better. Typically 80-100mm of PUR insulation laid over the plywood or board insulation with 38mm of PIR insulation fitted between joists below the deck. Here are the approximate figures but always take into account the requirements of the specification:

- timber roof - 12.5mm plaster board, 150mm timber roof space with no insulation, 20mm timber decking, insulation, 6mm felt
- concrete roof - 12.5mm plasterboard, 22mm battens, 150mm concrete deck, insulation, 6mm felt.



IMPORTANT TIPS!

1. Flat roof should not be 100% flat. BS 6229 recommends that a flat roof should have a minimum design fall of 1:40.
2. All roofs should be insulated- the thickness of the insulation will be determined by its type
3. Always lay the external wall insulation over the underside of the roof to prevent cold bridging
4. Remember to provide ventilation - in case of cold deck roof it is required to leave a minimum 50mm gap above the insulation
5. Between an insulation and the ceiling finish leave a vapour barrier
6. Leave ventilation openings of at least equal to a 25mm continuous gap running the full length of the eaves on two opposite sides
7. Anchor the flat roof to the wall to prevent uplift and ensure all flashing over joints is robustly fitted to prevent water seeping in and causing damage
8. All materials used should have appropriate accreditation that meets Building Regulations
9. Choose experienced roofers to avoid bad workmanship

Source:

LABC www.labcwarranty.co.uk

WATERPROOFING SYSTEMS FOR FLAT ROOFS

The roof is the main component of the building. The most important parts of it are both the structure and the covering. IBB BUILDER presents the comparison of three different roof covering systems available- the liquid rubber system, the roofing felt and the GRP roofing system.

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TO COMPARE
3 DIFFERENT
PRODUCTS

Liquid Rubber system

It is the seamless and waterproofing system based on the cold liquid application by brush or roller and mainly used for repair, as the curing two coat membrane settles within 20 minutes and can be walked on within an hour. This system provides a fully bonded and tough surface with 200% elasticity. It is available in various colours and both as standalone system or with an Anti-skid finish.

Application

This advanced liquid waterproofing technology is perfect for use on a variety of new and existing surfaces. It was developed to solve problems caused by conventional roofing systems and is

made of eco-friendly polymer. Easy and fast to apply on both horizontal, vertical or complex geometry surfaces. It is applied without joints and seams, and it is resistant to acids, moisture or salt. It is perfect to use on roofs of occupied buildings as the process of the application does not disturb occupants. There is no need to use flame and heat. It can easily penetrate on surfaces with obstacles such as antennas or solar panels etc.

Guaranteed Performance

The Liquid Rubber System is subject to a standard 10-year guarantee, which can be extended to 20 years when applied by an approved contractor.

The advantages:

- Fast application
- Flame free and flexible
- Minimum wastage
- Ready to use single component
- Root resistant
- Allow foot trafficking within an hour
- Suitable for flat roofs, balconies, walkways
- Can be applied on asphalt, timber, felt, concrete and metal
- Can be applied down to -30C
- Various colours available
- 10 years guarantee

The felt system

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3 DIFFERENT
PRODUCTS

The felt is the most common form of roof covering that can be used on timber, metal or concrete. It has been in use for more than 100 years

High performance felts are supplied in rolls and are laid in multi-layers bonded together with hot bitumen. There are different kinds of roofing felt, and the choice of proper felt should be considered based on the purpose and application system. The felt roof is a durable and affordable solution. The available felts on market are:

Pour and roll – the traditional installation requiring bitumen heated to over 200°C. **Torch-on** – it is treated with thermo-fusible bitumen, heated with a

propane torch as it's rolled and applied hot. **Self-adhesive** – no need for heating.

The felt installation process depends on materials used but usually felt is laid in few layers and bonded with hot bitumen or adhesives in the case of cold application.

Application of the roofing felt

Here is the general guidance but always follow the manufacturer manual as the installation might vary between products, for instance we can distinguish between cold and hot installation. Firstly it is required to make sure that roof deck is clean of debris, nails and others. Roof deck structure will be covered with the OSB board or external plywood. Roofing felt underlay is applied in overlapping layers that starts at the bottom of the roofline to avoid wa-

ter staying underneath. The stripes of felt underlay are laid horizontally. Roll the felt across the deck right up to the edge of the rake and eaves but not over the sides of the building. Align the felt strip and secure it with nails. Do not insert nails along the edge that will be overlapped by the next strip. The overhang to the next strip of felt should be approximately 10cm and each strip should be attached to the surface with the nail or staples. Bigger overlaps should be left when the roll finishes or in valleys, ridges or hips. Around pipes cut the slit and put it over the pipe. Smooth the felt paper on the area, ensure its flat without any wrinkles, spots, bubbles of air. Over the underlay felt strips lay down the top bonded layer. For flats roof most of the roofing tapes are glued to the surface by heating it with butane torch or in cold installation by glueing.

Felts are classified according to the British Standard 747:2000, by their base and function:

- **Type 5 Blue:** polyester base, recommended, strong and durable
- **Type 5U** - under layer
- **Type 5B** - top layer/cap sheet requiring solar protection (paint or chippings)
- **Type 5E** - mineral-finished top layer
- **Type 3 Red:** glass fibre base - certain grades have specific uses:-
- **Type 3G** - perforated sheets, used as a specialised under layer to provide a regular partial bond (see Model Specifications). Type 3B - Not recommended as a working layer in residential buildings.
- **Type 3E** - mineral-finished cap sheet - could be used over a type 5B felt for solar protection and additional security.

source: cardiffroofer

The advantages:

- Price
- Well-known installation process
- Range of application methods available
- Reliability
- Properly installed can last to 50 years
- Improve fire rating of the home

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The GRP flat roofing system

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PRODUCTS

It is the fully integrated seamless system that can be used on all types of flat roofs and roof coverings. It consists of specially developed glass reinforced polyester resin in liquid form, reinforcement fibreglass mat and a range of trims and edge, what after installation create hard wearing seamless roof.

GRP (Glass Reinforced Polyester) was discovered in the late 1940's. It was quickly adopted during the 1950's and 60's for a wide range of applications where its corrosive-proof properties, allied with its high strength and excellent appearance, soon proved to be invaluable. Its first main application was for boat building, where it gained acceptance in the 50's and is still widely used today. The uses for GRP have since broadened to the extent that it has now become the standard material for the construc-

tion of small craft, water tanks, building cladding panels, roof lights and of course high performance waterproof coatings. In the last ten years a rapid growth has occurred in the GRP roofing industry as more and more people realise the benefits of GRP.

A GRP roof is a single-ply GRP laminate applied in situ over a good quality OSB3 deck. The roof is finished with pre-formed GRP edge trims and a coat of pre-pigmented top-coat.

GRP has been used as a waterproofing material for over fifty years for applications as diverse as boats, water tanks, lorry and car bodies, roof lights, ponds and pools. When used to construct a boat, GRP will provide complete waterproofing protection for the boat's entire lifespan of twenty plus years without the need for maintenance or replacement. This same level of performance is easily replicated on a domestic roof.

The advantages:

- Wet laid, will form to any shape
- Quick installation
- No joints
- Variety of colours
- 25 years guarantee
- Maintenance free
- More environmentally friendly
- UV resistant and Fire retardant
- Strong, lightweight and long-lasting

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THE ROOFING SYSTEMS COMPARISON TABLE

Feature	Liquid Rubber roofing system	Felt roofing	GRP flat roofing system
MATERIALS COST	High cost	Medium to low cost	Medium cost
ACCESSORIES COST	Medium cost	Medium to low cost	High cost
INSTALLATION SPEED	Fast	Long	Medium
HEAT / COLD INSTALLATION	Cold	Heat / Cold (adhesives)	Cold
SIZE OF APPLICATION	Small & Large	Large	Small & Large
PROVEN TECHNOLOGY	V	V	V
GUARANTEES	10 years	25 years	25 years
ADVERSE WEATHER CONDITIONS	Yes	Yes	No
EASE OF DEATILING	Easy	Difficult	Easy
BBA CERTIFICATION	V	V	V
DURABILITY	Long	Long	Long
WATERPROOF LEVEL	High	Medium	High
UV RESISTANCE	High	Low	Medium
ODOURLESS	Yes		
WEIGHT		Heavy	
VARIETY OF COLOURS	Yes		Yes
STORE & REUSE	Yes	Yes	
INSURANCE REQUIRED		Yes	
NEW BUILD / REPAIRS	Both (repairs recommended)	Both (new build recommended)	Both (new build recommended)
APPROVED INSTALLER SCHEME	Available for 10 years guarantee		Available for 25 years guarantee
SKILL LEVEL	Low skilled	Skilled	Low skilled
TIME REQUIRED FOR FOOT TRAFFIC	Quickly	Medium	Medium
MAINTENANCE	Low	Medium	Low

MAKING A CHOICE

All solutions have the preference based on customer needs. **Taking into account cost**, the GRP and cold liquid rubber systems are generally more expensive than felt roofing. However, they tend to be more efficient in waterproofing.

Considering the installation process, felt roofing is more time consuming and complicated as requires joints and heat, but it is reliable. On the other side, it is quite slippery and presents an element of risk. Other solutions are safer and quicker to install and might be fitted in various weather conditions. That means the cost of installation will be higher in the case of the felt

system. The fibreglass GRP system requires more stable weather conditions for applications while liquid rubber might be installed in minus 30 C degrees.

With regards to usage, felt is the most cost efficient. On the other hand, liquid rubber and GRP are seamless and more watertight.

If we look at the environment factor, the felt is less vapour permeable. Both liquid rubber and GRP are more environmentally friendly.

The durability of products is quite similar. The liquid roofing systems tend to last a bit more and are less responsive to catalysts, so the degradation process is

slower. In the case of the felt UV light often causes crazing but also it can be easily mechanically damaged and requires full removal and re-application at the end of its life. It is less resistant to frost too.

The final finish is smoother with the liquid rubber or the GRP system. Both are also available in a variety of colours and can be easily cleaned. The felt has a more traditional look, with mineral or chippings finish available. However, the felt roofing can crack and blister quicker.

To sum up, taking into consideration factors like safety, ease of installation, price, waterproofing efficiency, durability, management or other features, the liquid roofing systems or GRP systems are better, but on the other hand, there are elements like cost constraints or engineer specification that might require other solution.

QUALITY DRYWALL

Regular



Waterproof



Fireproof



Soundroof



Vapourshield™



Thermal Laminate



Kooltherm Insulated



Cementboard



Park Royal
18 Gorst Rd
London NW10 6LE
020 8965 7972
sales@ibb.pl

Croydon
ZK Park, Unit 6, 23 Commerce Way
Croydon CR0 4ZS
020 8680 9026
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425 Walsall Rd
Birmingham B42 1BT
0121 356 8655
birmingham@ibb.pl

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Unit 24, Piccadilly Trading Estate
Manchester M1 2NP
0161 375 1210
manchester@ibb.pl

GRP

Flat Roof System

The latest technology in roof covering is the Glass Reinforced Polyester flat roof system. It is a fully integrated seamless system where all the components are designed to work together. It can be used on virtually all types of flat roofs up to and including vertical surfaces for example the cheeks of a dormer or the inside face of a mansard or parapet roof. It is ideally suited for refurbishment of existing roofs.

Below we describe step by step application of Tuff-Stuff® system, which is available to buy in IBB POLISH BUILDING WHOLESAL. It has been specifically engineered for distribution to the flat roof market in the UK however, it is not only ideal for flat-roofing. It is highly versatile and can be used for almost any application of any size or complexity. Sloping roofs, green roofs and balconies can all be easily accommodated, as can pools, ponds or water tanks. It is also fully integrated – all components are designed to work with each other to produce a robust, heavy-duty membrane for faultless waterproof performance. With no seams or joints which are prone to leakage in other roof systems, that seamless membrane is formed in situ and

fully boned to the roof deck. You can confidently expect a lifetime of leak-free, maintenance-free protection from its installation. The membrane is extremely hard wearing structure installed onto a new timber decking tolerates light foot traffic and resists attack from ultra violet light.

The system is available as standard in dark grey but a range of different colours are available on request. A slip-resistant finish can also be specified. It can adapt to existing or new features such as parapet walls, skylights, vent pipes, sunpipes and balustrades. Support structure such as solar panels or air conditioning units can also be integrated either during or after installation.



Roof in its original leaking state



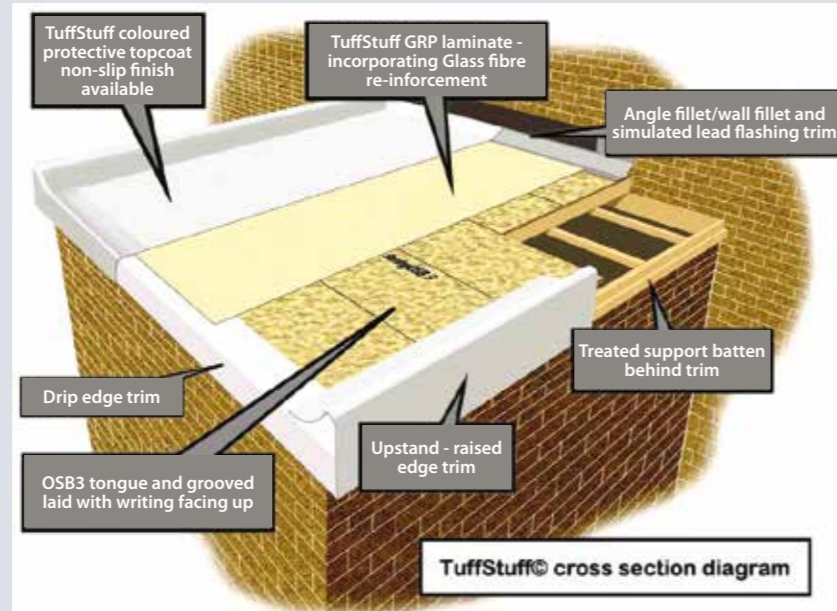
Roof after the TuffStuff® treatment

**TUFF
STUFF**
THE GRP FLAT ROOFING SYSTEM

An understanding of GRP flat roofing system

A TuffStuff® GRP roof is a wet laid, single ply GRP laminate made up of two layers of catalysed base coat resin sandwiching a layer of chopped strand glass fibre reinforcing mat (450/600gsm). It is applied to a good quality new OSB 3 or WBP plywood deck. Profile GRP edge trims are applied to the roof edges and abutments and the roof is finished with a coat of catalysed pigmented top coat resin.

The system is available with two levels of reinforcement: 450gsm for areas of occasional foot traffic and 600gsm for areas with heavy foot traffic in conjunction with slip resistant finish. Insulation can be used in a cold roof or warm roof configuration to comply with current part L of building regulations.



TuffStuff® cross section diagram

Preparing and laying a deck

COLD ROOF CONSTRUCTION

Cold roof construction is where the insulation is laid between the joists and supported by ceiling, with the 50mm gap from the top to the underside of the decking for ventilation. Prior to laying the decking boards, ensure they are dry as TuffStuff® will not bond to wet or damp boards. Using 2400x600x18mm OSB3 Smartply T&G boards lay them at 90° to the joists, laid with the writing side uppermost. This will ensure that when basecoat resin is applied, the joints will fill with resin to help bond the boards together. Begin laying the boards at the furthest edge from the draining edge. Where the board is laid along a wall, an expansion gap of 18 - 25mm between board and wall should be allowed. Square off the short edge of the board with the fascia and laying the

boards end to end until they reach the opposite edge. Trim the last board to fit and use the off cut (if it is larger than 400mm) to begin the next row, thus creating staggered joints. Ensure that the tongues of each board are correctly engaged with the grooves of its neighbours. Proceed in this manner, cutting and shaping where necessary until the roof is fully decked. The recommended methods of fixing are either a gas powered nail gun using 65mm sheradised ring shank nails, or screw gun using plated/passivated woodscrews min 65mm. Fixings should be inserted at 200mm spacing (4 fixings across 600mm width) on every joist. If over boarding (i.e. laying a new deck on top of an existing one) it is important that your fixings locate into the joists. If you are fixing into steel, there are proprietary fixings that will be suitable. When laminated, the roof surface will reflect any imperfections in the deck. Good deck- good roof!

WARM ROOF CONSTRUCTION

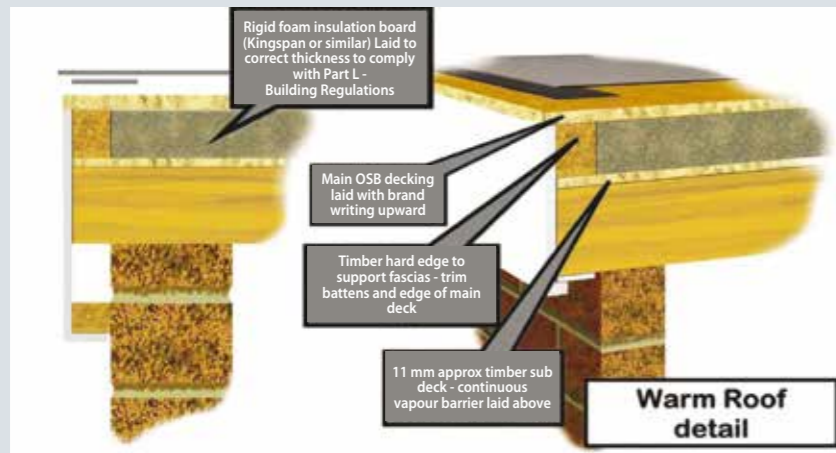
If a 'Warm Roof' is required (insulation placed above the joists) it will be necessary to create a sub-deck (either 11mm Plywood or 11mm OSB3) to carry the insulation, fastened to the joists/firings in the previously described manner. It is then recommended that a continuous vapour barrier i.e. visqueen, is laid onto the sub deck, any overlaps or joints taped with a waterproof tape.

Foil faced insulation board (PUR or PIR) is then placed onto the sub deck long edges at 90° to the long edges of the sub deck and a 'top deck' of OSB3 2400x600x18mm laid on top as per the decking instructions and fixed through to the joists using fixings of the appropriate length. A timber 'hard edge' may be necessary at the perimeter, depending on the roof layout, to facilitate the fixing of battens, fascia's and trims.

Trimming

Edge trims are manufactured in GRP and are 100% compatible with TuffStuff® roofing resins. One side has a matt finish for high adhesion and the otherside a glossy finish. Always bond to the side with the matt finish any laminate applied direct to glossy side will delaminate.

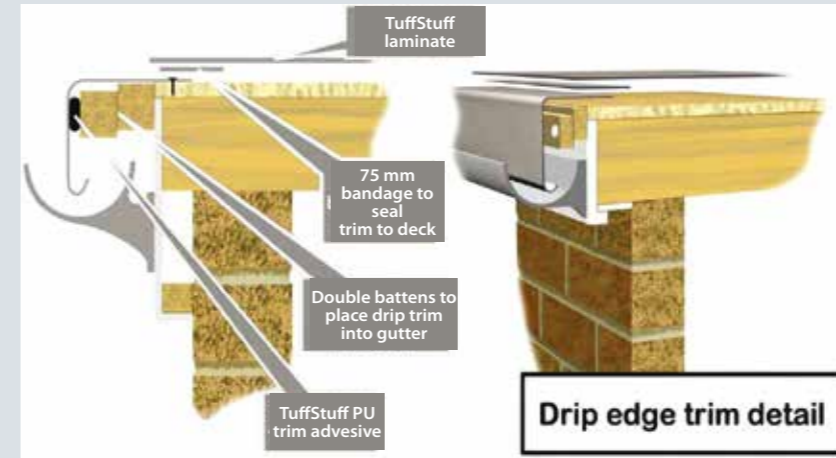
All trims can be fixed in place using 15mm clout (felt) nails or staples. First, battens (19mm x 38mm treated) should be fixed around the roof perimeter in a position suitable for each trim profile and prior to fixing the trim in place, short beads of polyurethane trim adhesive approximately 30mm at 300mm centres should be applied to the battens. The trim



Warm Roof detail

LAMINATING STEP BY STEP

1. Ensure all debris, tools etc. are removed from the roof and the roof is swept clean and is completely dry!
2. Cut the reinforcing mat for detailing work.
3. Prepare bandage for sealing all trims to new roof deck.
4. Roll out and cut mat for the whole roof surface (remembering 50mm overlap)
5. Roll up strips of mat and place adjacent. Keep dry!
6. Prepare tools, i.e. synthetic lamb's wool application rollers (3" + 7") metal paddle rollers (3" + 6") laminating brushes, mixing buckets.
7. Select an area on the ground, adjacent to the ladder for mixing. Protect the mixing area from spills or splashes using either an off cut of decking or a plastic sheet preferably both!
8. Mix a small batch (1-2 litres) for detailing and bandaging. This is an ideal opportunity for assessing the quantity of catalyst you are using and whether you need a longer working time (less catalyst) or shorter working time (more catalyst)
9. Mix and apply base coat resin and reinforcing mat for whole roof area including consolidation
10. When cured, sand down in preparation for topcoating.
11. Topcoat application.



can now be positioned and 'rubbed' into place to ensure the face is vertical and that the adhesive is engaged. Mechanical fixing, using clouts or staples can now take place. When using the drip edge trims (A170, A200 and A250) it may be necessary to 'double batten' to ensure the bottom edge of the trim is located as close to the centre of the gutter as possible.

Application of TuffStuff® SYSTEM

TuffStuff® Base Coat resin is supplied in 15kg cans which equates to approximately 13.5 litres. This typically has a coverage rate of 10 square me-

tres, also allowing a small amount for detailing etc.

The correct ratio of base coat resin to glass fibre reinforcing mat (450gsm) is 1.2 litres of resin per m² of mat. For 600gsm mat your base coat resin usage will be approximately 30% higher - the thicker the mat the more resin usage. Resins will not cure without the addition of the correct liquid catalyst. The target working time used for each mix of the resin is 20-30mins.

Laminating procedure step by step is described next (see black box). Before laminating, always ensure that the weather will remain dry at least until the laminate has cured. After the first 2m² of mat has been laid and impregnated, the paddle roller is used to evenly distribute the resin across the

Secure corners with mat and resin



Bandage trims and apply resin





GRP – Glass Reinforced Polyester flat roof system



mat. Using the paddle roller, apply light pressure to the wetted mat and using long, even strokes, made sure that the whole area of the mat is worked until transparent. Any area that is white or opaque will require more resin applied. Continue until the whole flat area of the roof is laminated and consolidated.

Using a sanding pad or sandpaper (40-60 grit) lightly sand the corners, taking care not to create 'holes'. Any unsightly fibres can be trimmed off using a Stanley knife. If a hole in the laminate is found this should be 'patched' with a square of reinforcement and resin before proceeding.

If the roof requires the use of C100/C150 flashing trims, these should be inserted prior to topcoating, sealing in place using a good quality clear (translucent) silicone (neutral curing, low modulus).

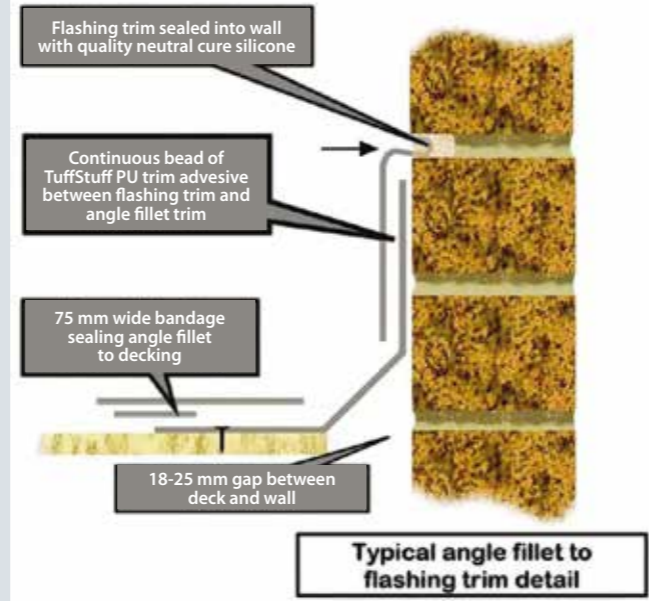
Topcoat

TuffStuff® Topcoat (colour coat) is supplied in 15kg cans which equates to approximately 30 square metres of coverage and 5kg cans equating to 10 square metres giving you flexibility and reducing wastage. All cans must be thoroughly stirred and if separate cans are being used mixed together to avoid any possibility of colour variations between batches.

If a non-slip aggregate is to be added, this needs to be sprinkled by hand as the roof is topcoated. It can be left uncoated to give a 'mineral' finish or encapsulated with topcoat to give a textured finish.

For an 'ultra neat' finish use masking tape to define the edges of the aggregated areas. When the topcoat has fully cured "grabbing" the aggregate, sweep off the excess and discard.

This advanced roofing technology is a cost effective and long term solution for



both new and old roofs. Totally seamless it reduces the problems of maintenance so common with a traditional roof covering method. What's more, it offers durable and neat looking finish with various trims available.

Fast installation on new or old roof constructions makes the GRP flat roofing system very efficient.

IBB Builders Merchants offers assistance for anyone interested in the above roof covering solution. (Source and photo: Tuffstuff)

GRP – Glass Reinforced Polyester flat roof system is an alternative method to bitumen felt:

- More effective than traditional on-torch membrane
- 20 years materials guarantee
- Fire retardant to BS476-3EXT FAB – no restriction to use
- UV resistant
- There is not such messy job like plastering
- Can be used both in a cold and warm roof configuration to comply with part L of building regulations

Quotation is based on below conditions:

- The system uses GRP manufactured elements like corners, trims, etc
- The quotation is based on the usage of the reinforcing mat 450g/sqm - occasional foot traffic
- GRP system should be used on top of decking boards like 18mm thick WBP or OSB3 – not calculated
- Fixing trims and angles require proper substrate preparation before installing – e.g., additional battens, etc.
- Concrete, steel should be primed using polyurethane primer before applying base coat
- All elements should be glued, nailed and bandaged
- For roofs larger than 50sqm expansion trims should be used to create expansion joints
- Apply 1/3 part of resin to the deck and 2/3 part to the mat
- Distribute the resin across the mat with paddle rollers
- Reinforcing mat should overlap - 50mm
- When cured sand down before applying top coat

Please see below an estimation for 20sqm typical flat roof.

MATERIALS

Materials usage for typical 20sqm flat roof

No	Material	Code/ dimensions	Price* excl. VAT unit	Usage for 20m ² flat roof	Cost excl. VAT	Cost incl. VAT
1	Universal external corners C1	TST27	£12.83	2 pcs	£25.66	£30.79
2	Side drip edge trim A200	TST06 3.0m	£15.58	5 pcs	£77.90	£93.48
3	Standard angle fillet trim D260	TST17 4.0m	£12.83	2 pcs	£25.66	£30.79
4	Angle fillet to trim C2L - Left	TST29	£12.83	1 pcs	£12.83	£15.40
5	Angle fillet to trim C2R - Right	TST30	£12.83	1 pcs	£12.83	£15.40
6	Standard simulated lead flashing trim C100	TST11 3.0m	£15.58	2 pcs	£31.16	£37.39
7	Glass fibre mat 450g/sqm	TSP03B 10 sqm	£27.50	2.4 roll	£66.00	£79.20
8	75mm wide bandage	TSA57	£22.55	1 roll	£22.50	£27.00
9	Polyurethane trim adhesive	TSA58 310ml	£7.95	6 pcs	£47.70	£57.24
10	Zinc plated nails		£2.97	0.05kg	£0.15	£0.18
11	Resin – base coat	TSP01 15kg	£70.59	1 tin	£70.59	£84.71
12	Resin – top coat	TSP02 15kg	£98.80	2 tins	£197.60	£237.12
13	Catalyst	TSA41 1ltr	£12.47	3 ltr	£37.41	£44.89
14	CT1 clear silicone		£11.00	2.5 tube	£27.50	£33.00
Total					£655.49	£786.59

* all products available at IBB; prices before discounts

LABOUR

Labour rate for GRP flat roof includes:

- fitting external corners, glueing and using zinc plated felt nails
- fitting side trims, glueing and fixed with zinc plated felt nails and stick with a bandage to the deck boards
- fitting left, and right angle fillet to trim, glueing and using zinc plated felt nails
- installing angle wall fillet trim, glueing and using zinc plated felt nails and stick with a bandage to the deck boards
- fitting simulated lead flashing,
- mixing coat base resin with the proper ratio of catalyst
- cutting a chase in brick or block wall for flashing trim and pointing with clear silicone
- base coat laminating
- top coating

Labour - 20 sqm flat typical roof

No	Description	Labour [labour hours]	Company rate excl. VAT	Cost excl. VAT	Cost incl. VAT
1	Skilled roofer	27.85	£27.00	£751.95	£902.34
Total				£751.95	£902.34

APPLICATION TOOLS AND ANCILLARY COMPONENTS

No	Material	Code/dimensions	Cost excl. VAT	Cost incl. VAT
1	Acetone	TSA46 5LTR	£16.50	£19.80
2	Catalyst safety dispenser	TSA44	£14.75	£ 17.70
3	G4 polyurethane primer	TSA61 5ltr	£73.30	£87.96
4	Slate granules – for adding to topcoat	TSC08 25kg	£23.30	£27.96
5	Flat flashing F300	TST21 roll 20m	£104.17	£125.00
6	Paddle roller 3"	TSA53	£5.42	£6.20
7	Paddle roller 6"	TSA54	£10.42	£12.50
8	Paddle roller 9"	TSA54A	£14.75	£17.70
9	Painting roller 9"		£3.17	£3.80
10	Block brush 5"		£3.75	£4.50
11	Mixing buckets	14ltr	£1.42	£1.70
12	Cutting knife		£1.83	£2.20

* all products available at IBB; prices before discounts

The total price (materials and labour) per 1 sqm for a standard flat roof in GRP laminating system is approximately £85.00 incl. VAT

Notice!

- The above estimation is only the proposal, and you can use it at your own risk.
- Be careful – roof surface will reflect any imperfections in the deck
- When adding catalyst to resin always mix well to ensure even distribution
- Before top coating stir the can well
- Use PPE – Personal Protection Equipment and establish Health&Safety practice
- Always ensure before laminating that weather will remain dry

Flat Roof Structure with Felt Covering 30m²

Material

No	Name	Feature	Dimension	Weight [kg]	Price [unit]	Qty	[unit]	Costs	Total
1.	asphalt roofing paper	underlay, selfstick IZOLPLAN PYE G2	roll 10m2 2.9mm thick	79.350	£32.50	3.450	roll	£112.12	£123.34
2.	asphalt roofing paper	top coat, welded IZOLMAT PLAN extra	roll 5m2	247.800	£19.17	7.080	roll	£135.72	£149.30
3.	plywood	WBP	2440*1220*18mm	199.800	£33.71	11.100	pcs	£374.18	£411.60
4.	sawn timber	treated, KD, regularised	47*200*6000mm	192.720	£19.22	17.520	pcs	£336.73	£370.41
5.	wood screws	KDH-5.0*100	KDH-5.0*100	3.000	£4.49	3.000	kg	£13.47	£14.82
6.	wood screws	KDH-5.0*50		3.000	£4.49	3.000	kg	£13.47	£14.82
Total				725.670				£985.70	£1,084.27
								Total net:	£1,084.27
								VAT:	£216.85
								Total gross:	£1,301.13

Labour

No	Name	Rate	Qty	[unit]	Costs	Total	
1.	Carpenter	£12.00	61.800	lh	£741.60	£1,349.71	
2.	Carpenter mate	£10.00	39.900	lh	£399.00	£726.18	
3.	Roofer	£12.00	11.670	lh	£140.04	£254.87	
Total			113.370	lh	£1,280.64	£2,330.76	
						Total net:	£2,330.76
						VAT:	£466.15
						Total gross:	£2,796.92

The total price (materials and labour) per 30 sqm for Flat Roof Structure with Felt Covering is approximately £4098.40 incl. VAT

Notice!

- The above estimation is only the proposal, and you can use it at your own risk.
- Be careful – roof surface will reflect any imperfections in the deck
- When adding catalyst to resin always mix well to ensure even distribution
- Before top coating stir the can well
- Use PPE – Personal Protection Equipment and establish Health&Safety practice
- Always ensure before laminating that weather will remain dry





IBB Polonia London

IBB Polonia London

The holiday break is nearing the end

Following an effective 2016/17 season, the players and members of IBB Polonia London enjoyed a well deserved rest over the summer. Despite the fact that Piotr Graban's players have been on a break since May, they have been finding the time to stay fit. Many of the players returned to the weights room to maintain their physical power; others enjoyed playing on the sand in a variety of Beach Volleyball events around England. The IBB Polonia London coach didn't rest on his laurels and during his vacation developed his own volleyball knowledge by taking part in a number of meetings with other coaches and trainers from around the world. He also ran a number of volleyball camps for young and emerging players.

- Following the most successful season in the history of the club; the staff and players enjoyed a well earned rest. Some players continued to enjoy their sport by playing in various beach volleyball competitions; others returned to their "day jobs" while others travelled the world taking in the sites and cuisines. - said Chris Hykiel, IBB Polonia London Sports Director.

The IBB Polonia London players will soon re-

turn to the training venue to start to prepare for the new season. The first gathering will be on the 14th August. The new season will bring a number of changes for the roster; a large number of the fans' favourites will remain, but some new faces will also be warmly welcomed.

- I am delighted to announce that Piotr Graban's contract has been extended and he will be back within the next week to start pre season try outs. A huge number of players have contacted IBB Polonia London to request a try-out for the 2017-18 season. The squad is definitely going to see some new recruits, as well as some of the fans' favourites from last season. - commented Chris Hykiel.

- There will be a number of new faces from Slovakia, Brazil and Poland. I currently have ten confirmed players for the season, and will also be testing some new athletes over there next few weeks. - said Head Coach Piotr Graban.

The 2017/18 season will be a new challenge for the double Champions of England. Last season it was evident that there was huge potential in the London based club. A good level of play and organisation allowed for the defence of the Super 8 title

and the English Cup. In addition the victories in the CEV Challenge Cup and the signing of Krzysztof Ignaczak sets the bar very high for the imminent season.

- IBB Polonia London's main aim of the season is to win the Club NEVZA competition. Following on from the huge successes in the CEV Challenge Cup last season, beating some of the top teams from Hungary and Holland, the club change their focus slightly and look to a different competition that will be of a very high standard indeed. - added Hykiel.

- The aim for the season is a similar one to last season. We want to show an entertaining and high level of volleyball. We want to work very hard and continue to develop The Club. I want to develop the players to a higher level and I hope to write a new page in the history of our club, Great Britain and Poland. - added Piotr Graban.

The first match of the 2017/18 will be at the start of October against the other contenders for the Super 8 title. More information about the make up of the 2017/18 roster, the schedule for the season and details about the NEVZA competition will be announced soon on the usual social media outlets.



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The first pre-season test

Two weeks ago, the players of IBB Polonia London started their pre-season training. Under the watchful eye of Head Coach Piotr Graban and Assistant Coach Patrik Selep, they returned to the gym after a long summer break. A series of test matches will take place in the near future to check the progress of the team and the abilities of the new recruits. Detailed analysis will take place based on the performance during these matches.

The current English Cup Champions will battle to win the London Cup on Sunday, 10th September, alongside four other teams (London Lynx, Malory Eagles, New Forest and Essex Blaze). The all day event will see an "all v all" format. This will be the second edition of this event; in 2016 the title was won by London Lynx who will be looking to defend their title. IBB Polonia London will compete in this tournament for the first time. There will be many matches taking place during the day before the eventual winners are decided; fans, who no doubt are desperate to watch some good volleyball, are warmly invited to come. The tournament is organised by Ashley Trodden (coach of Greenhouse Sports) with the support of The London Volleyball Association. Matches will take place at Ernest Bevin College, Beechcraft Rd, SW17 7DF, starting at

10.00 am. IBB Polonia warmly invite you to come along, dressed in red and white as usual, and support the team during the games. More information will appear on the event Facebook page.

- We decided to take part in the tournament because we want to check out the level of other teams from London and to see how we measure up against them. Thanks to this, we will be better prepared when the season starts. - commented Head Coach Piotr Graban. - We also have another event lined up outside of London, which will take place in the second half of September.

In September, the away trip will allow the club from the capital of England compete against another from the Super 8 Division.

To Lead to European competition

Piotr Graban has decided to agree to the extension of his contract for another year and to continue to develop volleyball in Great Britain for another year. In the interview he tells how he has been preparing for the imminent challenges and what convinced him to extend his stay in London.

How were your holidays? Did you manage to have a rest?

P.G.: Of course I had a rest. I spent lots of time playing volleyball with friends on the beach and had lots of lovely conversations with friends.

Social media had lots of information about your holiday activities. You led some sports camps over the summer: were they your idea? What was your role during these camps?

P.G.: I took part in lots of coastal activities; which were my own initiative. I had a variety of roles. In Italy I coached 14-16 year old boys, which mimicked the School of Sporting Excellence. During the course of two weeks I had to teach them volleyball. It was a great experience, because they had no idea about any systems or tactics, but by the end, not only did they play an under 15 Italian team; they beat them! I was both pleased and proud. At the Polish camps, I was more of an assistant and helped with the sessions and sometimes took my own groups.

Did you learn anything yourself?

P.G.: Of course, every new experience is a chance to learn. I had the chance to learn during every session; how to teach. It is good to have a different approach to problems.

So you extended your contract, over the summer, with IBB Polonia London. What made you make that decision; to stay in the UK for another year?



P.G.: I had a few propositions from Poland, but decided the offer from IBB Polonia London was more attractive, because it is a longer term project. I want to build a very strong team, that will compete in Europe. I'm not only talking about IBB Polonia

London, but about the sport as a whole in the UK. For that reason, I am very motivated to work hard and to build the team.

What are your plans for the season? What must be improved in relation to last year?

P.G.: There is always room to improve. A number of experienced players will not be returning this year due to work commitments or offers from professional clubs. I am delighted that the majority of players

will be back for another year. This shows that they enjoyed the steps we took last year and that we are going to be taking this year. There is a lot of work in front of us if we want to become a professional club.

What goals have you set yourself this season seeing as you have won the Championship and Cup titles?

P.G.: I will repeat last year's goals. We are likely to be seeing some new potentially very good players who will join us and improve. We will see what outcomes happen as a result. I hope we can make history once again in England.

What are your wishes for the coming season?

P.G.: I hope Volleyball England can make some changes; that they can push our sport forwards and develop it.

Are there any indicators that the level will improve?

P.G.: I've heard rumours, but I don't like to guess. All the clubs will be keeping their cards close to their chests. Only once we start pre season friendlies, will we have some idea about other clubs and allow us to make predictions. We will focus on ourselves; at the end we will see who is the best.

Last season you started to develop the know how of other coaches in the UK. Will you continue with this idea? Do you have some new ideas that you would like to see take place in England?

P.G.: I have a few projects on the go. This was one of the reasons I decided to return. I am organising some coaching clinics and player development clinics in England and next year in Poland. I have also started two other volleyball projects, which will not come as a surprise. They are loosely based around development of coaches as well as male and female players in the UK and Poland. I will let you know more about this when I am ready!

Piotr Graban was born in Gdańsk and is 30 years old. In his first season as IBB Polonia London Head Coach, he won the national Title of England as well as the Cup of England. He also achieved a historic level of success in the CEV Challenge Cup. The previous 4 years, he spent as the assistant coach at PGE Atom Trefl Sopot. Piotr studied Physical Education in University of Physical Education in Gdansk and completed his Masters degree in volleyball. He has also worked with the youth teams Gedania Zukowo, Gedania Gdansk.

The players are back the first week in September to prepare for the upcoming season. During the summer break, all of the players received a challenge card with what needs to be covered during their summer holidays in order to be extra prepared for the season.

The age groups from u8 to u11 are kicking off their games the first week of October. However, the oldest age group has a challenge of becoming sharp and ready for the league two weeks after they come back to training as their league is kicking off mid-September.

During the summer break, we received many calls, messages and emails with new interests. Therefore, in the first two weeks, we are looking for a large number of new players who are going to be arriving at the club. The club is growing with a blink of an eye.

The children's academy is growing even faster, and we are predicting that the number of players will double or even triple in its size!

We hope that everyone had a great summer, stayed safe and fit! We are very excited to start the new season. See you in September! #GOPOLONIA

IBB Polonia London FC



PROUDLY PRESENTS

BUSINESS AWARDS

IBB Polish Building Wholesale professional approach and commitment in the construction industry has been recognised on many occasions. **IBB team** and our hard work were rewarded with below trophies.

We are committed to the business excellence, and we are working hard on constant improvement of our services and relationship with customers. Moreover, we are focused on innovation and sustainability, and our carefully selected portfolio of products gives our customers the guarantee of the best solutions and value for money. Within the range of products, **IBB Therm** is our own professional External Wall Insulation and Render System. What's more, we acknowledge the

digitalisation of the construction industry and provide estimating tool **IBB Estimator** for fast and accurate costs analysis. On top of that, **IBB Builder** our monthly magazine is a source of advice and important news for all engaged in the building industry. We recognise the importance of women in the construction sector and our excellent team can be a role model.

Finally, IBB actively supports others in achieving their best potential too- our sponsorship in volleyball lead the **IBB Polonia London VC** to become **THE CHAMPIONS OF ENGLAND** second time in a row, while **IBB Polonia London FC** is successfully coaching young football players.

Jacek Ambrozy, the director of IBB, with passion and commitment is leading the company, setting goals and creating tools to achieve success. The collaborative work of all our hard working colleagues shows that not only we are doing well but that we are amongst leaders.

Thank you to all our Customers and Partners for trust and loyalty.

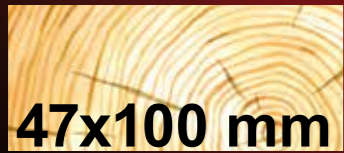
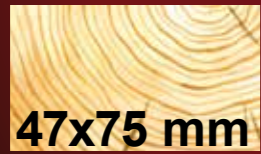
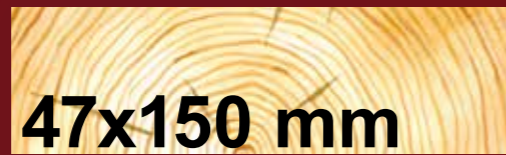
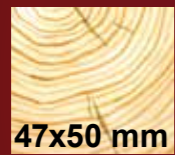
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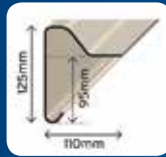


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£9.35 net (RP £15.58 net)



DEEP UPSTAND TRIM (RAISED EDGE) B260 - TST09
£9.35 net (RP £16.25 net)



STANDARD ANGLE FILLET TRIM (WALL FILLET) D260 - TST17
£9.35 net (RP £15.58 net)



STANDARD SIMULATED LEAD FLASHING C100 - TST11
£9.35 net (RP £15.58 net)



UNIVERSAL EXTERNAL CORNER C1 - TST27
£7.70 net (RP £12.83 net)



ANGLE FILLET TO TRIM C2L left handed - TST29
£7.70 net (RP £12.83 net)



FLAT FLASHING (ON A ROLL) F300 - TST21
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Acetone 5 l
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Catalyst winter/sammer T SA42 (5 l)
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ANGLE FILLET TO TRIM C2R right handed - TST30
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SIMULATED LEAD FLASHING INTERNAL CORNER C7INT - TST36
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SIMULATED LEAD FLASHING EXTERNAL CORNER C7EXT - TST37
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Catalyst winter grade T SA44 (1 l)
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Catalyst, safety dispenser T SA44
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£16.55 net (RP £27.58 net)



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Top coat grey slate TSP02 (5kg)
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Base coat resin TSP01 (15kg)
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Glassfibre mat, 450 gsm full roll TSP03, 70m² - 33 kg
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Glassfibre mat, 450 gsm full roll TSP03B, 10m² - 5.5 kg
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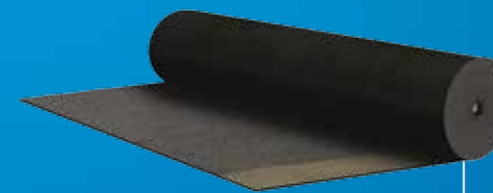
Roller, bubble buster, 3"/75 mm
£3.45 net (RP £5.75 net)



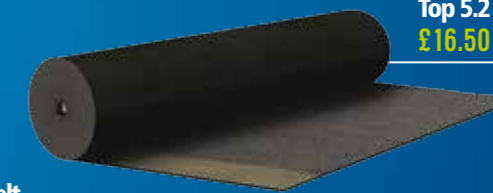
Roller, bubble buster, 9"/225 mm
£9.35 net (RP £15.58 net)



Roller, bubble buster, 6"/150 mm
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