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IBB Polish Building Wholesale

FREE

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Merry Christmas!
and Happy New Year!

The Christmas ISSUE

Merry
Christmas

Our dear readers and friends,
We wish you a blessed holiday season.
May this Christmas bring you comfort, joy, peace
and happiness to last throughout the coming year!

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FROM EDITOR

Hello Readers,

Here we are in December! Countdown to Christmas has started, and many of you are on the way to finish projects. We are also ending this year with this 12th issue as our last regularly printed edition. We have published nearly 200 articles since we began publication in January 2016. Thanks for coming along and making it a successful journey. There is more to come but in the different form. From next year we will be issuing only digital edition, which will be available on our website, in the IBB Estimator app, on Issue or our Facebook page. If you are registered with IBB, every issue will be delivered monthly directly to your inbox. We have decided to move to digital channels only as statistics prove them getting a larger audience. Implementing our new strategy, from now on we will be issuing only special printed editions for various occasions. Don't miss out, stay tuned for announcements (Twitter: @ibbbuilder) Let's move on now to the fresh content of our Christmas issue.

We have pledged our support for GoConstruct and joined their campaign to encourage people to consider the career in the construction sector. More about the campaign inside. Over the coming months, we will be publishing informative articles on building trades.

In the building technology, we have prepared for you the guide to patios, pathways and driveways, including the cost estimation. Hopefully, it will be an excellent reference guide for your future external works. In materials comparisons this month, we describe the levelling and measuring tools. From spirit levels, traversing rules or angle gauges to optical levels and distance meters. All feature also in our monthly deals regular, so do not miss your 40% off in December.

Moreover, from this month on we will be including for you extracts from zero carbon hub publication. Easy to follow guide on what steps to undertake to improve houses energy efficiency.

The content on building regulation is about defects and rectification process. This informative guide is based on JCT contract and hopefully it will help you identify which defects are the responsibility of contractor. Life without learning will be pretty dull, so in our Builder Education section there is great introduction to two-stage tendering, which is becoming more popular on larger projects. This procurement method



is typically used to appoint the contractor before the full documentation is ready. Could it be beneficial for you? Informative and valuable read. Moreover, you will find an article on Nimby and its impact on new builds in the UK. Have you known this acronym before?

In construction news, you will read about construction wage increases and the merger of UCATT with Unite to form one common voice for the construction industry. Also, we wrote about the CSCS smart card reader. An essential tool for every employer. We have included too the review of the very successful London Build 2016 which was in October this year. For those of you who are proud of your recent projects the Federation of Master Builders is announcing Master Builder Awards 2017. Enrol now! We are looking forward to hearing from you with regards to results. Don't forget to let us know about your nominations. Good luck!

Plus as always updates on IBB Polonia London VC and FC included. Some football news and entertainment column to make your holiday season more enjoyable.

Now it just remains for me to wish you a very wonderful, peaceful and joyful Christmas with all good wishes for the New Year. On behalf of all of our team, thank you for your readership and support this year.

Magdalena Rosół
Editor

We are the winner ...



2016's Most Innovative
Business Leaders



Most Trusted Building
Merchant 2016



2016's Most Innovative
Business



Finest in Business
Awards 2016



Most Cost Effective
Building Merchant UK
2015

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Innovative
External Wall Insulation & Render System

IBB builds on reliability with robust Jungheinrich fleet

IBB Polish Building Wholesale was established eight years ago and now supplies over 10,000 customers in the UK, importing goods from Poland as well as the rest of Europe. The company is growing fast with four branches in total - two in London, one in Birmingham, and one in Manchester - all operating to exacting standards in a fast-paced environment where meeting customer demands, on time and to schedule, is absolutely critical.

Keeping goods moving on-site and loading lorries efficiently are essential activities requiring robust and reliable material handling equipment. Operating 10 hours a day, 6 days a week, forklift trucks are engaged in carrying heavy materials such as cement, plaster, and timber - all of which must be handled with great accuracy.

When it came to replacing the company's aging forklift fleet, IBB reviewed the market for a reliable supplier and turned to Jungheinrich UK. "We recognised Jungheinrich as a company with a good reputation," says Jacek Ambrozy, owner of IBB, "so we asked them to come and discuss our options."

Jungheinrich UK provided IBB with two new diesel counterbalance trucks, the DFG 430s and the



DFG 425s. The hydrostatic transmission on the DFG 430s and the automotive VW engine offered precision control and improved fuel efficiency in handling loads up to three tonnes.

"The trucks meet our needs for heavy duty handling in a relatively confined space, giving us the maneuverability we need," says Ambrozy. "Our operating team is very happy with the trucks and all are running smoothly. With 50 to 80 customers a day and moving some 40 tonnes daily, it is vital that the trucks do not fail."

Fitted with triplex masts for duties such as placing plasterboard into racking, the trucks are well equipped for the job and have cabins that provide a comfortable driver environment. The front, top and rear screens reduce exposure to the elements while still enabling the driver to quickly mount and

dismount in order to assess stock and product. Additionally, front and rear spotlights are fitted along with a panoramic mirror for enhanced driver visibility.

The trucks have been supplied with extra-long forks to facilitate the fast loading of palletized goods and plasterboard onto vehicles - allowing the loading of a lorry from one side only and reducing the need to re-position the vehicle in a constricted yard.

Ambrozy concludes: "We decided to rent the trucks from Jungheinrich for three months first, to see how they performed. They proved very capable for the job so we decided to place an order."

"Fuel efficiency is a big factor for us and easy access to the cabin is very important too. But, the most important factor is that everything works to a high standard and generates no problems for us. We are extremely happy with our new Jungheinrich trucks."

JUNGHEINRICH

Jungheinrich UK Ltd is one of the top three leading Intralogistic providers in the UK, generating a turnover of over £175 million annually. With a team of nearly 800 dedicated and highly experienced employees, operating from seven locations across the UK, we offer the industry's widest range of high

energy efficiency Pallet Trucks, Stackers, Counterbalance Trucks, Reach Trucks, Order Pickers, Very Narrow Aisle Trucks and Stacker Cranes in more than 600 truck variants.

In addition, Jungheinrich provides an extensive, 500 employee-strong, Customer Service Support Network. The company has evolved from a manufacturer of Forklift Trucks to a full Intral-

ogistics Solution provider, excelling in Automation, Racking Systems and Warehouse Planning, as well as in Long and Short Term Rental and Financial Services.

The company is a division of the Jungheinrich AG Group, which generates a turnover in excess of 2.7 billion Euros annually and has manufacturing facilities worldwide. www.jungheinrich.co.uk

Review London Build 2016

On the 26th and 27th October 2016 we were exhibiting at the London Olympia during the London Build Expo 2016. We had the opportunity to showcase our activities and promote IBB Builder to visitors engaged in the UK construction industry, like earlier this year during the North England in Manchester.

The London Build 2016 exhibition is the construction sector event that cannot be missed. It brings together professionals, experts, manufacturers, merchants, contractors, architects and all involved in the sector. The Expo appealed to all visitors looking for technologies, innovations and solutions for their construction projects.

We were welcomed with tremendous interest, particularly in our IBB Estimator software, IBB Builder magazine and our innovative range of thermal insulation products IBB Therm. London Build 2016 was a good way of getting IBB out there to new potential customers and showing off what we are good at. We have met many professionals from the sector, focused on networking and receive excellent feedback from visitors. IBB Builder was available in the media area as the press partner, what opened some new leads for IBB. Chairman Bartek Łuszcz, coach Piotr Graban and player Bartosz Kisiielewicz from IBB Polonia London VC visited our stand to promote volleyball further. Our stand at the London Build was always busy, and even Mr Bean was our huge fan!

Stay tuned for news in which event we will be taking part next by following us on Twitter (@ibbbuilder) or Facebook!





Master Builder Awards 2017

by Federation of Master Builders

Nominations are now open to Master Builder Awards 2017 by FMB and the entry closes at 5 pm on the 31st January 2017. Enrol now to prove your best standards and be for the chance to win the title of the Master Builder 2017.

The Federation of Master Builder will assess and present the best projects carried out by small and medium-sized builders across the UK. By taking part in the awards programme companies have a chance to win a new Vivaro van sponsored

by Vauxhall and benefit from the publicity. To enter fill the nomination form, upload your photos and provide client's references. It is possible to enter more than one project or same project in various categories.

The regional judges' panel will be assessing all entries and will shortlist the best for the final. All winners will be reviewed by the National Judging Panel who will award the national prizes. Winners will be announced at the Awards ceremony on Friday 15th September 2017 at the Intercontinental Park Lane Hotel. Descriptions of categories, nomination forms and full details of terms and conditions are available at www.fmb.org.uk/about-the-fmb/master-builder-awards

We strongly recommend our readers to take

part in the FMB awards, and we're looking forward to the announcement of the finalist and winners. Good luck to all participants.

Categories :

- New Home
- Energy Efficiency Project
- Small Renovation Project
- Heritage Project
- Large Renovation Project
- Commercial Project
- Kitchen and Bathroom Project
- Heavenly Builder
- Apprentice of the Year
- Building Merchant of the Year
- Lifetime Achievement Award

CSCS SmartCards reader

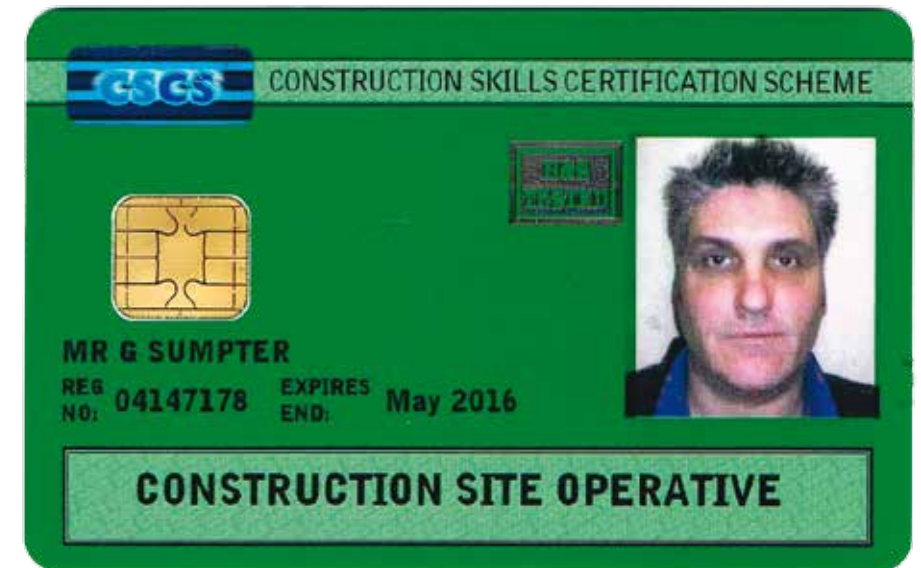
The CSCS cards fraud might be common, so the CSCS is urging employers to check CSCS cards validity with the means of electronic readers. Electronic checks allow confirming the employee's qualifications and training to do the job adequately and safely. The electronic smart card was introduced in 2010 and provides an easy way to tackle fraud and verify workers identity and qualification. However, the last year survey revealed that still, many employers are not using technology to check the CSCS cards validity. Simple visual checks are still the most common.

All CSCS cards are smart, and technology embedded in them allows a site manager to execute free checks on each worker. The chip contains information on the cardholder identity, qualifications and training. All information can be read on a smartphone, tablet or PC allowing site managers instantly record the cardholder's information.

Instant checks are available if the card is inserted into the card reader or onto a compatible device such as a tablet or smartphone. Many card readers will work with CSCS smart cards. Prices start from around £40 + VAT, and CSCS provides the list of preferred suppliers.

If the cardholder's details will be displayed after reading, it means the card is genuine and will enable the verification of all details printed on the card. The dual interface card can be read with the help of a contact reader or a contactless reader. The reader requires the software to make it compatible with the computer or laptop.

CSCS Communications and Public Affairs Manager Alan O'Neill said: "CSCS believes that for construction sites to remain safe and productive all workers should have the correct qualifications and training for the type of work they carry out. This



was one of CSCS's primary objectives when introducing the electronic SmartCard in 2010. The CSCS SmartCard provides a simple and cost effective way to tackle fraud and verify that workers hold the correct qualifications and training before allowing them on site." CSCS is urging employers to help tackle card fraud and take advantage of the benefits offered by using the CSCS SmartCard.

Unsure how take advantage of the benefits that CSCS SmartCard technology can offer you?

CSCS partner with IT firms who provide software and solutions that can be integrated with the CSCS SmartCard. Only companies which have adequately demonstrated how their solutions benefit construction contractors or clients may become CSCS IT Partners. Biosite, a CSCS IT Partner since 2011, provides access control and workforce management systems designed specifically to address the complex challenges of the construction industry. It utilises state of the art biometric / fingerprint and wireless technology to provide a secure and reliable, yet flexible and affordable solution for today's ever increasing health and safety needs on construction sites.

Li Wang, Biosite Managing Director adds, "Biosite's biometric access control system, integrated with CSCS SmartCards, has completely transformed workforce management and security within the construction industry as site managers are now able to accurately monitor how many workers are on site

at any given time and can also permit or restrict access more efficiently – ensuring only CSCS accredited and trained personnel are on site." Biosite's integrated suite of products include: Biometric Access Control, Wireless Fire Alarms, Online Induction, Delivery Management, CCTV, Time Lapse, Document Management, Corporate Reporting and Manned Guarding. More details at www.biositesystems.com

Benefits of Biosite's access control system include:

- Scan CSCS SmartCard chip and import CSCS SmartCard and photographic information.
- Access is only granted once fingerprint ID and CSCS accreditations checked and verified.
- Site access based on accreditation information coupled with unique biometric information.
- Automatically lock operatives out of construction site if their cards are fake, or their accreditations have expired.
- Ability to prove only inducted and accredited individuals have been granted access on to site.
- Accurate time and attendance reporting.
- Rapid fingerprint matching in less than one second resulting in faster throughput.
- 'Near Miss' data capture and 'Toolbox Talks' recording using fingerprint registration.
- Unique ability to de-duplicate profiles by individual fingerprint across multiple sites.

(source: Biosite, CSCS)

Construction wage Increases

Construction workers are in line for a pay rise from the beginning of the new year. Wage increases have been agreed by the main construction wage agreement bodies, the Construction Industry Joint Council (CIJC) and the Building and Allied Trades Joint Industry Council (BATJIC).

According to the Career Explorer Wizard by GoConstruct the average salaries for construction indus-

try are as below. Please note below salaries will vary depending on location / employer.

- Self-employed contractor or sub-contractor who runs his or her own construction business - average salaries are in the region of £19,000.00 to £55,000.00.
- Construction directors responsible for planning and managing all construction activities.- Average salaries are in the region of £60,000.00 to £80,000.00.
- A contracts manager who identifies, secures and manages projects and contracts.- Average salaries are in the region of £26,000.00 to £30,000.00.

- Site engineers/technicians look after the technical, organising and supervising side of construction projects - Average salaries are in the region of £19,000.00 to £32,000.00.
- Building control surveyors who make sure that regulations are followed on construction sites and projects. - Average salaries are in the region of £30,000.00 to £40,000.00.
- An electrical engineer who is responsible for the design, development, control and maintenance of the electrical systems and components of buildings, rail networks, power distribution networks. - Average salaries are in the region of £25,000.00 to £60,000.00.

(source: GoConstruct)

	2017		2017	
	Operative date	Award	Operative date	Award
Thermal insulation, Engineering	1 January 2017	1.0%		
Thermal insulation, H & V	1 January 2017	0.8%		
Flat glass industry	1 January 2017	2.3%		
Plumbers- England	2 January 2017	2.0%		
Electricians- England	2 January 2017	2.0%	1 January 2018	2.5%
Electricians- Scotland	2 January 2017	2.0%	1 January 2018	2.5%
Steelworkers	9 January 2017	2.0%	8 January 2018	2.5%
Builders, CIJC	26 June 2017	2.8%		
Civils, CIJC	26 June 2017	2.8%		
Demolition	20 July 2017	3.0%		
Builder - Northern Ireland	7 August 2017	2.0%		
Heating & Ventilating	2 October 2017	2.5%		

This information is for guidance only. Ensure its validity before application.

One union for all construction workers

From 1st January 2017 construction workers will benefit from powerful union of Ucat - Union of Construction, Allied Trades and Technicians and Unite - Britain's and Ireland's largest trade union with over 1.4 million members working across all sectors of the economy.

reduction of the unfair treatment. One union will create strong voice for the construction industry.

Commenting Unite general secretary Len McCluskey said: "This is a historic moment for the construction industry and the men and women who work in it. From January 2017, construction workers will for the first time have one united powerful union on their side at work.

"Bad bosses and construction firms employing sharp practices should beware. Our new combined industrial voice will be used to defend the rights of

construction workers across the UK and to campaign for secure decent jobs which pay the rate for the job.

"I look forward to working with our new colleagues and welcoming Ucat members into the Unite family. Together we will be strong progressive voice for Britain's construction workers and their industry."

Ucat acting general secretary Brian Rye said: "By joining with Unite, the industrial muscle of all construction workers will double overnight, which is good news for all members.

"Employers are going to have to get used to dealing with one voice and one union. They need to understand that shoddy and underhand practices including; dismissing workers without warning, exploiting workers by paying them via agencies or umbrella companies and ignoring key safety laws will not be tolerated and will be exposed."

Ucat formal transfer to Unite was announced on Wednesday, 2 November as members of Ucat voted by 85.5 per cent to merge with Unite. Unite and Ucat will be finalising details of their future together over the coming weeks. Ucat will join Britain's largest construction union on 1 January 2017. The common voice will give construction workers more powers in pressing for a joined up industrial strategy, securing good quality jobs and dramatically boosting the number of proper apprenticeships. Employers will be dealing now with one union and one voice. This will help to defend the rights of construction workers and hopefully have impact on



BOOK REVIEW

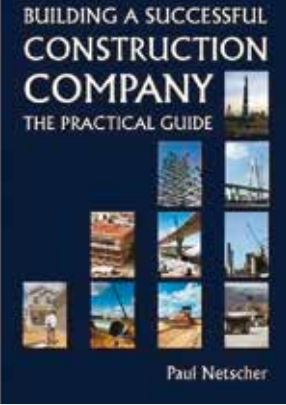
Building a Successful Construction Company: The Practical Guide by Paul Netscher

"It is an interesting reading and practical guide on how to make your construction company more profitable. A 'must read' before you price your next project. Many construction companies fail despite the hard work and knowledge of their managers and owners. Some companies even start well, earning good profits, building successful projects, and the company grows - only for it all to come crashing down, often leaving a mountain of debts behind. So why do construction companies fail? Is it due to bad luck?

This book explores important aspects of managing a construction company that impact its success and profitability. Obviously managers should have an understanding of running a business as well as the appropriate technical skills. But, it's usually more than this.

The chapters in this book focus on the importance of selecting the right project, how to find projects, tendering correctly, winning the project, delivering the project, avoiding unnecessary costs, increasing revenue, financial and contractual controls, managing the company, the importance of employing good people, growing the company and ensuring the company has a good reputation. The chapters are set out in an easy to read format, filled with practical tips, which provide a step-by-step guide to growing profits, remaining profitable and running a successful construction company".

We highly recommend this useful guide for insight on how to successfully manage projects. It consists of case studies and easy to follow practical advices. Very helpful and well worth a read.



If you want to know how to:

- complete the project on time
- complete the project at or under budget
- complete the project safely
- provide quality in all aspects of the project
- leave the customer, the owner and the client satisfied

NIMBYism

Not in my Backyard

Housing shortage is the main issue government should tackle to cater for growing population. The UK housing market has to be more accessible for first time buyers but also for those at the top of the property ladder who wish to downsize. It is estimated by Federation of Master Builders that approximately 220,000 new homes has to be built every year. Britain housing crisis has to be tackled as soon as possible and for plans to build millions of new homes local residents are not always in favour.

NIMBY is the acronym of 'Not in my Backyard' used to express by local community the opposition to plans by council or government to locate in their neighbourhood some new development projects. Reasons for nimby are various, amongst others planned project might be in too close proximity to existing properties, often it might be considered to likely decrease values of nearby homes. Plans to build jails, waste points, rehabilitation centres or factories etc. are often not welcomed by local citizens. Other examples of opposed developments include any sort of housing development like skyscrapers, chemical plants, military bases, wind turbines, entertainment clubs, nursing homes, sports stadiums, retail parks, railways etc.

The claimed reasons against some developments include increased traffic, harm to local small businesses, loss of residential property value, en-

vironmental pollution, light and sound pollution, noise pollution, disruption to existing architecture.

Nimbyism occurs also in cases of new houses developments with claims they will have impact on the loss of a community small town character or increase in population which will lead to strain on local public resources and schools. Sometimes there is also fear of increase in the crime or fear of some environmental disaster.

Often local residents want to protect the green spaces on which proposed developments are planned. For instance North Hertfordshire District Council published its local plan proposing to build 14,200 new homes by 2031, many of them on the green space areas. People moved to suburbs

for the peace and quiet countryside feeling and often worry that there is not enough infrastructure to cope with the additional population. However the Chartered Institute of Housing is against Nimbys stating that homeowners are unrealistic by opposing new build developments and in the same depriving their children or grandchildren affordable places to live.

New research published by the Campaign to Protect Rural England (CPRE) shows that suitable brownfield sites across England can provide at least 1.1 million new homes. CPRE is calling for national policies that ensure brownfield development is prioritised over greenfield development and support the provision of new homes on suitable brownfield sites. These include brownfield registers across the country, and an instruction for councils to refuse permission for greenfield sites where they would compete with the development of nearby brownfield land. Recent CPRE research showed that on average brownfield sites are developed half a year faster than greenfield while previous research demonstrated that brownfield is a renewable resource. Shaun Spiers, chief executive of the Campaign to Protect Rural England (CPRE), said: "We need to build good,

affordable homes quickly in the right places. No one is suggesting that we will be able to provide all the homes we need without ever building on a greenfield site. But the Government needs to do much more to reconcile its commitment both to build a million homes and to protect the countryside, including the Green Belt it recently described as 'sacrosanct'. "These official figures show that there is plenty of suitable brownfield land available, and that the supply of brownfield land continues to grow. The Government and local authorities must now ensure that developers use it. This will not only save countryside, it will help ensure thriving towns and cities."

Housing costs in the UK are amongst the highest in the world. The UK housing stock is amongst the smallest in the Europe and until more houses are built, prices will continue to increase. Resistance to development must be overcome. So far, for years instead of investing in new builds, in the UK residents have been pumping their money into the old assets. Now problem is not with the demand or money but with the possibility to build. There is not enough of building plots, too many brownfield registered as green belts and too complicated process of obtaining the building permission.

Two-stage tendering

Competitive tendering is the most common form of the contractor selection. The value and cost are the priorities of clients. If customers prefer the lump sum quote from the contractor, the one-stage tendering is the best option. However, if the project start time plays a role, often two-stage tendering is chosen.

Two-stage tendering is used to secure the contract before full documentation is presented for tender. It allows for the early part appointment of a contractor so that works can begin and the fixed

price is negotiated in the second stage when all information is available.

Often the employer's requirements are not sufficiently prepared to estimate the fixed price for the whole spectrum of works but are enough to start some of them. To commence the project, it is necessary to sign the initial contract agreement. At stage one several contractors price the particular project phases, typically based on an outline design and works schedule. Preliminaries, overheads and profit, are included. In this case, the selected contractor will provide a schedule of rates on which the second stage will be that can be used to establish the construction price for the second stage tender. It allows for checking the market prices and appoint the pre-construction specialists. The preferred contractor proceeds with the second stage, and a lump sum price is being agreed after negotiation.

First stage appointment of the contractor might be in the form of pre-construction service agreement (PCSA) with an appendix stating all works position applied under the contract. The clause might be included stating that if the contractor or employer does not proceed with the construction contract, only the pre-construction fee will apply and in such circumstances it will be the final settlement of the contractor's costs.

Pre-Construction Services Agreements (PCSAs), also known as Pre-Contract Services Agreements allows appointing the contractor before the main construction contract commences. In most cases PCSAs are part of a two-stage tender process and allow contractor to get involved in project design, selection of sub-contractors or specialist contractors, development of the construction programme, obtaining prices from suppliers, preparation of



site layout. They can also be used to obtain pre-construction services by specialists. The JCT publishes two standard forms of PCSA, one for general contractors and one for specialists.

An example often encountered by small and medium-sized contractors are the demolition works which can be agreed in the first-stage contract to start works, while the specification is still being prepared in more details. The contractor is obliged to finish works included only in the first-stage contract. It is in the client's interest to include as much works as possible in the first phase and to ensure that there are some alternatives if negotiations regarding second-stage with the preferred contractor fails.

Two-stage tendering enables the client to trans-

fer some risk to the contractor, as there are not enough information to price the project properly at the first-stage. On the other side, the contractor does not have to worry that much about the competition. The contractor also has the opportunity to ensure that their costs and profitability are secured at the first-stage and still can negotiate allowances during the second stage.

Often the prices of the two-stage tendering are higher at the beginning, but there are fewer variations and claims on the way. However, the contractor may seek to include variations, change the lump sum for preliminaries or extend the completion dates which might have been agreed before PCSA was signed. Clients should secure themselves in

case the negotiations with the primary contractor will break down.

The first-stage contract can be considered if there are:

- a pre-construction and construction works schedule
- method statements
- preliminaries
- agreed overheads and profit
- schedule of rates applicable to the second-stage contract
- all applicable fees agreed
- tenders for parts of the contract
- agreed contract conditions applicable to the second-stage contract

Two-stage tendering	
Advantages	Disadvantages
Speed up the project's completion date, encourage better relationship between client and contractor	Used to mask design and specifications inadequacy
Enables to continue the development of the design during the second stage with help of the main contractor and specialist subcontractors	Encourage client to start tendering before all documentation is ready
Minimise competition. Improve cost certainty and reduce cost risk to employer.	Add costs of pre-construction fees
Better risk management- earlier identification of project risks	Contractors may leverage their costs at the second-part of the contract
Client has no contractual commitment beyond the PCSA prior to the completion of stage two.	Contractor can decide not to proceed with the second-stage of project
Ability to procure some project phases ahead of first-stage tender – to be incorporated into second stage via novation.	Allocation of work may be by the contractor's allocation of risk rather than by the client's interests
Better informed contractors price project more accurately. Contractors can influence the design and offer the solutions or technologies	Reduced transparency- possibility to transfer costs of main contractor allowances for preliminaries and design development risk to second-stage works

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The advantages of the new homes

A new home built to the latest building regulations can cost half as much to heat as a Victorian house of the same size, according to a new report by the NHBC Foundation.

The advantages of new homes is based on a survey of 2,000 people who had recently moved into a new home and were asked what they considered the advantages of new homes to be.

Many pointed to the energy efficiency benefits of new homes – the better standards of insulation enhanced draught-proofing and improved ‘air-tightness’ that help to lower household annual energy bills, and improve levels of comfort.

The report shows that energy bills are expected to be around £440 lower in a modern one-bedroom ground floor flat, compared to its Victorian equivalent. And for a new build four-bedroom detached house, bills are estimated at £1,050 – saving £1,400 compared to those of a 19th century house.

Homeowners of newer properties were also drawn to the idea of buying a ‘blank-canvas’ ready to be personalised, free from the nasty surprises of previous owners’ DIY. They also commented positively on the contemporary, flexible layouts and modern facilities of new homes such as new kitchens, bathrooms and appliances, covered by manufacturers’ warranties.

The report outlines the safety advantages of new homes raised by some respondents – such as mains-powered smoke alarms, interlinked throughout the home, which are standard, and the benefits



of safety glazing, safer stairs and the additional security features. But the advantages of new homes extend beyond the front door and many of the new homeowners surveyed considered that moving to a new development of like-minded people was also an attraction, allowing the opportunity to make new friends and neighbours in a new community.

Neil Smith, Head of Research & Innovation at NHBC, said: “It is pleasing that homeowners are able to identify the many benefits of new homes, ranging from the obvious advantages of a ‘blank canvas’ with everything being new, through to the much-improved energy efficiency standards, which lead to greatly-reduced fuel bills, compared with those of older homes.

“Maybe less obvious are the more solid foundations on which new homes are built, which are designed to suit local ground conditions, as well as the safety advantages of modern wiring and

mains-powered smoke alarms, interlinked throughout the home.

“This report is a useful reminder of the benefits of buying a new home, designed and built in accordance with up-to-date standards. What’s more, an important advantage frequently raised in the survey is the peace of mind provided by NHBC’s warranty and insurance protection under Buildmark, from exchange of contracts through to a maximum of 10 years after completion.”

Note: In this comparison, the Victorian home is the same size and has the same window area as the new home, but has uninsulated solid-brick walls, some single glazing and a gas central heating system.

Building Regulations vary throughout the UK and so the costs will be slightly different in Scotland, Wales and Northern Ireland.



(Source: NHBC Foundation 'The advantages of the new homes' (NH73))

THE NHBC GUIDE The advantages of the new homes (NH73) consists of the following chapters:

- **Ready to move in** – new homes are ready to enjoy without any concern about what has been glossed over by previous owners.
- **Everything is new** – appliances and systems all new and will work well for years to come.
- **Modern layout** – efficient use of space and the right balance of living and storage space.
- **Modern facilities** – well laid-out bathrooms and downstairs WC, and often an en suite.
- **Energy efficiency** – cost – energy bills should be about half those of Victorian homes.
- **Energy efficiency** – comfort – cosy homes that heat up quickly, are well ventilated and are not prone to condensation and mould.
- **Safety** – smoke alarms and wiring – Mains-powered smoke alarms and protection from electric shocks.
- **Safety** – glazing and stairs – safe steps and balustrades, and inclusion of safety glass where needed.
- **Solid foundations** – robust and resilient foundations.
- **A quiet home** – mandatory measures to ensure good sound insulation between homes.
- **Security** – robust doors and windows with additional locks and security devices to keep intruders out.
- **A new community** – opportunity to meet new neighbours with similar interests and aspirations.

To view the guide go to www.nhbcfoundation.org

(Source: NHBC Foundation)

ONCE YOU START
A CAREER IN CONSTRUCTION
YOU'LL NEVER LOOK BACK

BUILDER EDUCATION

IBB Builder joins Campaign

to find 220,000 people to fill new construction jobs

IBB Polish Building Wholesale and IBB Builder are joining a nationwide campaign to encourage people to consider a career in the sector, which is expected to create over 220,000 new jobs in the next 5 years.

The company is supporting the Go Construct campaign that is set to encourage more people from a range of backgrounds to consider a career in the industry and help them to find a role which matches their qualifications, skills and interests, dispelling some of the old fashioned myths that people still associate with the industry.

IBB Builder will be publishing campaign adverts and press releases in support of the campaign.

As well as an industry wide campaign, Go Construct's web portal is a 'one stop shop' for people to find out about the many different career options in the construction industry and how to start their

journey into a successful new career.

Talking about the decision to join the campaign Magdalena Rosol, editor at IBB Builder said:

"Construction is a growing industry and building trades are booming and likely to grow even more over the next five years. We want to play a part in attracting the best people into our industry to ensure we have the skilled people we need to sustain that growth. We are proud to support Go Construct to help spread the word about how successful the construction industry is and about the range of careers available in the industry."

Wayne Hemingway, leading British designer, writer for architectural and housing publications and a TV design commentator is championing the Go Construct campaign. Welcoming IBB Builder's involvement, he said: "There are thousands of opportunities for successful, long term rewarding careers waiting to be seized. Construction already accounts for 2.6 million jobs in the UK but we need to recruit over 220,000 people over the next 5 years. I see construction in the same way I see design: that it enables you to make your mark on the world and be part of projects that help improve people's lives whether that is much needed new affordable housing, hospitals, schools, stations or stadiums."

Anyone who is interested in finding out more about a career in construction should visit www.GoConstruct.org.

Construction is a career where you never stop moving, never stop learning and never stop playing your part. With 224,000 new jobs over the next five years your career is going in the right direction.

Construction is a career like no other.

goconstruct.org

Industry led, funded by the CITB levy

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The Guide to

CONSTRUCTION TECHNOLOGIES



External works

Pathways, Driveways and Patios

Surfaces such as pathways, driveways or patios are the external elements of the dwelling which create the aesthetic perception of the observed space. For users themselves, they represent the comfort and use of the outside areas. From the point of view of contractors, surfaces of this type require a specific approach and high accuracy of work. This guide will suggest you how to properly prepare the substrate, deal with cracks in the floor, and maintain proper fall and edges of a pathway, driveway or terrace.

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Pathways and Driveways

Pathways and driveways require a firm base, and the foundation depth or type depends on the traffic load, whether it will be used only for walking on, or whether cars or heavy cars will be driving or parking there. Drainage has to be properly done to channel water away from the surface and adjacent walls. Lastly, pathways and driveways are not only functional but also have a role

in the design of the outside space, so are often made of decorative materials.

Step 1. Preparing the substrate

The surface should be cleaned of all organic material, and drainage should be considered for ground that is saturated. Existing trenches should be backfilled with the granular material

to the required level and compacted in layers no greater than 300mm. The backfilled material should have the same capacity as the adjacent ground.

Step 2. Substrate

It is necessary to provide the adequate substrate that will adequately support the finished

surface. Weak mix concrete or well-graded hardcore might be suitable. For pathways minimum substrate thickness is 75mm, for driveways with light traffic 100mm should be provided, while for heavy traffic 150mm. The hardcore has to be compacted to support the pathway or drive adequately. Please note that in cases where the ground below the substrate is weak or soft, the substrate should be designed by a Structural Engineer. Compacting can be done with the vibrating plate or roller.

Step 3. Drainage

It is necessary to provide adequate drainage to prevent staying water. It is recommended to laid pathways and driveways to fall away from the building. Rainwater should be lead to the gully or well-drained garden, not onto the main road. Please note that pathways and driveways should be laid at least 150mm below the DPC (damp proof course) of the building. Any higher then this can lead to rain getting to the DPC and causing damp.

Establishing a Fall - It is recommended to

establish the fall by reducing the mortar or pavers away from the building. The sufficient fall is of 25mm in 2m. Also, in the case of wooden deck boards to enhance drainage, build a fall of 1:100 away from the adjacent property. Grooved deck boards are designed to assist channelling the water, so it is recommended to lay them in the direction of the fall. It is recommended to establish the fall by reducing the mortar or pavers away from the building. The sufficient fall is of 25mm in 2m.

Step 4. Edgings

Edgings are necessary to prevent movement or displacement of pathways or driveways, but are not required in case the substrate is the in-situ concrete or precast concrete paving slabs laid on the mortar substrate. In case of gravel pathways or slabs laid on the sand bed, the edging will prevent any movement of the surface. Edgings should be laid in line with no gaps. If slabs are bedded into mortar the edge might allow for a neat finish. Treated timber edging can be used. Concrete edging should be laid on the 200mm wide x 100mm

deep mix concrete base and haunched up the side of the edge. In case the adjacent surface is a lawn the edging should be lower than the lawn.

Step 5. Surface

Suitable surfaces for pathways and driveways include block paving, precast concrete paving slabs, timber decking, cast in-situ concrete, rolled asphalt, macadam.

Paving slabs

Paving slabs can be placed either on bed of sharp sand or on mortar. It is recommended to allow for a 25mm bed of sharp sand or a semi-dry mortar mix (sand/ cement mix ratio 3:1). Depending on the desired finish you can lay paving slabs with joints adjacent or leaving joints no greater than 4mm for pointing. Pointing should be done with mortar, or joints should be filled with kiln-dried sand. Paving slabs can be cut with the diamond blade.

Block paving

Block paving requires a minimum of 50mm sharp sand base, and gaps between blocks should



not exceed 5mm. All joints should be filled with kiln-dried sand or similar. Block paving can be cut with a block splitter. Remember to compact the whole surface at the end.

Porous block paving joints

Where paving is designed to allow ground water to drain through the joints, the gaps between blocks and the material within the joints should meet the initial design specification. The joint material should be sufficient to prevent blocking and prevent moss growth.

In-situ concrete

In-situ concrete should be laid in areas of 20m² maximum to allow for movement. Where abutting an adjacent structure, the concrete should be isolated using a flexible jointing material. Where the sub-base is well drained, it is recommended that the concrete is cast onto a Damp Proof membrane.

Macadam and asphalt

Ensure that sub-bases are dried and primed and that the surface is appropriately rolled with a vibratory roller to the required finish.

Timber decking

Only timber naturally resistant to decay, or which can be treated by an industrial process to give long-term protection from decay, shall be used.

Hardwoods

Only use species rated as durable or moderately durable.

Softwoods

Only use species/components with natural durability or which have been treated in accordance with BS EN 335 to a 'Use class' standard appropriate to their use, i.e. 'Use class 4' treatment for posts and other structural components in direct ground or freshwater contact, or 'Use class 3' treatment for all components out of direct ground contact subject to frequent wetting.

Timber grade (strength class): C16 minimum

Softwood with a strength class rating of C16 is considered the minimum standard for decks above 600mm in height, and is a requirement of building Regulations for such raised-level structures. The higher strength classes, typically C18 and C24, should be specified where smaller component sections, longer spans or commercial deck performance design considerations are required. For decks below 600mm in height, the use of C16 timber is also recommended.

Posts can be made from laminated sections, solid timber or round poles, and should have a load-bearing capability/size/spacing appropriate to the scale and end use of the structure. For extended life, the surface mounting of posts on precast piers or metal shoes is recommended.

When laying timber decking boards:

- Allow for a 5mm minimum to 8mm maximum gap between board lengths.
- where the board abuts a post, allow a 5mm gap.
- where board ends meet, allow a 3mm gap.

Metal fixings

All metal fixings shall be made from corrosion-resistant materials, such as stainless steel, hot dipped, galvanised or other specialist coating. Screws should be at least two-and-a-half times the thickness of the board being fixed. Ideally, choose screws that are self-countersinking.

Pre-drilling pilot holes will help prevent splitting, and always drill pilot holes 2mm oversize when fixing hardwoods.

At all joist crossing points, secure boards with two fixings positioned at the outer quarter points of the deck board, i.e. 25% in from either edge. On grooved boards, fixings should always be at the bottom of grooves. Take care using high-pressure nail guns as they can damage timber.

Manhole cover

Never seal the manhole covers or other access points to underground services. Use the removable cover or engineering bricks to build up the manhole.

(Source: LABC warranty, Technical Manual V7: TS-011a-7.00-180814, Chapter 11: External works, p.299-301)



Patios

Patios not only provide the place for relaxation and add to the overall design of the property but also enhance its value. There are various options to create a beautiful area at the rear of the building. Amongst others, there is aggregate flag range, stone, paving slabs, tiles.

In the first part of this guide, we will describe how to lay a paving slab patio.

Laying paving slabs requires some setting out. It is recommended to include in the calculations of exact patio area the pavement design and how to minimise cut slabs. The decision whether the paving slabs should be laid on the sand or mortar, with pointing or directly next to each other is also relevant. Remember to include the space for edging.



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Step 1. Setting out and excavating

Knock pegs into the ground and tie strings to establish the patio area. Once the patio area is marked out, dig down to the required depth. Include slab depth, hardcore and the mortar in calculations. Remove any turf, plants or paving and dig down to a depth of about 150mm to allow for the foundations.

Step 2. Edging

Cut timber edging to the same depth as the excavations, adjust it so that the patio surface slopes away from the building, using a gradient level. It is necessary to preserve a fall of 1.5-2% to enable water channelling away from the building.

Step 3. Laying the hardcore base

Evenly lay the hardcore base (also you can use or add additional layer of granular MOT type 1) across the floor of the excavation to an approximate depth of 100mm. Compact the hardcore using the plate compactor or roller. Check the level of the compacted hardcore across the site. Ensure the compacted surface slope away from the house. If required add a layer of bedding mortar over the compacted hardcore.

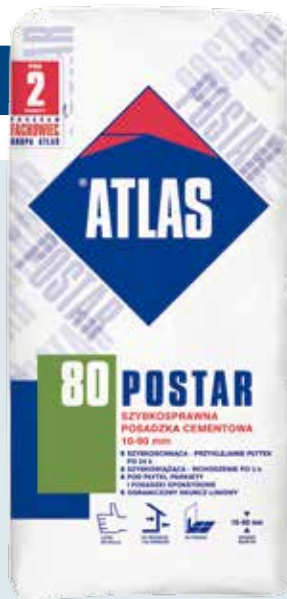
What is type 1 MOT? It is a granular sub-base material, widely used in the construction industry. It has excellent load bearing qualities and is often used for heavy traffic areas like highways, car parks, foot-paths, driveways, hardstandings and building bases. Any application where a firm sub-base is required needs type 1. MOT classed as 'Type 1' must comply with the Department of Transport Specification for Highway Works, clause 803 (SHW 803). MOT Type 1 is made from Granite, Limestone or clean Crushed Concrete. The product is crushed to 40mm down to dust creating an aggregate containing a range of particle sizes that is easy to compact.

Step 4. Laying the mortar

The surface of patio must be at least 150mm below the DPC of the house, so rain doesn't get there. At this stage, it is recommended to lay a concrete slab. Pour the foundation concrete onto the hardcore base. Compact it with the batten and level the surface with the float. For larger surfaces consider laying the self-levelling compound on top.

Mortar application

The compound should be laid the wet contact layer, using method 'wet-on-wet'. Prior to applying the main layer of screed you should execute the



ATLAS POSTAR 80

It is recommended for quick repairs. It may be used as the floor finish or screed beneath the top finishes like: ceramic and stone tiles, epoxy floors and coatings, PVC and carpet floorings*, parquet and floor panels.

Main properties:

- further works just after 24 hours,
- foot traffic after 3 hours, limited linear shrinkage, high cohesion,
- thick plasticity.

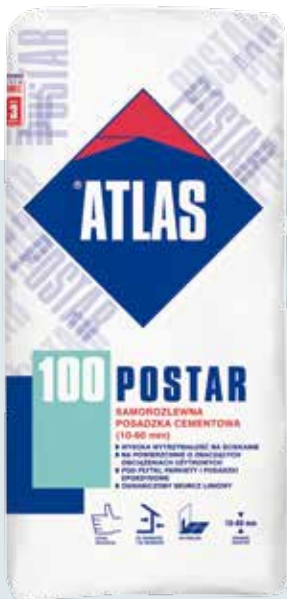
Main parameters:

- consumption: 20 kg/1 m²/1 cm layer
- thickness: 10-80 mm
- high compressive strength: ≥ 40 N/mm²

* Before the application one should execute a smoothing layer with the use of ATLAS SMS 15 or ATLAS SMS 30.

second contact layer after first has dried. All works should be carried out in accordance with the flooring work techniques. It is helpful to use levels to ensure that the resulting surface is even. The guides should be attached so that the screed thickness is as designed and in all places no less than the minimum thickness for a given design (bonded to the substrate, on a separating layer, floating). In order to compact the material or spread it more evenly, it can be vibrated with a screed or compacted with a trowel. Rake up the excess mix along the guides with zigzag moves. The assumed technological pad should be filled and levelled within ca. 30 minutes. The surface should be floated and evened with floats after ca. 3 hours.

The freshly applied screed should be protected against excessive drying, direct sunlight, low air humidity and draughts. In order to ensure



ATLAS POSTAR 100

It forms the floor finish layer of high strength – it is used on loading ramps, driveways, underground garages, parking lots, terraces, balconies, warehouses, production halls, etc. It may be used as the floor finish or screed beneath the top finishes like: ceramic and stone tiles, epoxy floors and coatings, PVC and carpet floorings, parquet and floor panels.

Main properties:

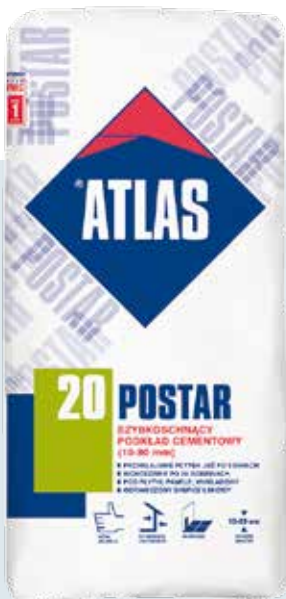
- limited linear shrinkage,
- easy application,
- applied manually or mechanically.

Main parameters:

- consumption: 20 kg/1 m²/1 cm
- layer thickness: 10-80 mm
- high compressive strength: ≥ 50 N/mm²

the optimal setting conditions for the screed, the fresh screed surface should be sprinkled with water or covered with plastic foil. Appropriate maintenance leads to an increase in the strength of the product, but it also extends the drying time. The screed drying time depends on the layer thickness and the ambient temperature and humidity. Foot traffic on the screed is allowed after ca. 24 hours, and full load can be applied after ca. 14 days.

Depending on the conditions of curing, humidity and the type and permeability of the flooring, application of top flooring can be commenced after an average of 5-6 days for tiles, PVC flooring can be applied when the screed has dried completely. Before application of flooring the surface should be primed with UNI-GRUNT or AVAL KT17 primers.



ATLAS POSTAR 20

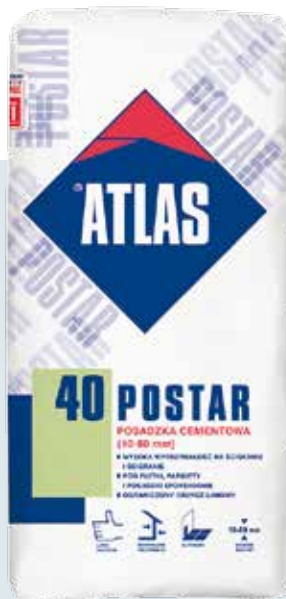
Creates subfloor of thickness 10 - 80 mm - the layer thickness depends on the structural arrangement (table below). Recommended for use in residential and public access buildings.

The main characteristics:

- fast-drying - work can be continued after 5 days
- foot traffic after 24 hours
- limited linear shrinkage
- high compressive strength: >20 N/mm²
- for places exposed to permanent dampness

The main parameters:

- consumption: 20 kg/1 m² / 10 mm of thickness
- layer thickness: 10 - 80 mm
- compressive strength: min 20 N/mm²



ATLAS POSTAR 40

Forms subfloor or floor of thickness 10 - 80 mm - the layer thickness depends on the structural arrangement. Recommended for execution of subfloors and floors in residential buildings, warehouses, industrial premises, as well as on driveways and terraces. etc.

The main characteristics:

- high compressive strength ≥ 30.0 N/mm²
- for warehouses, driveways
- as substrate for tiles, epoxy screed
- for places exposed to permanent dampness
- on separation layer or floating

The main parameters

- consumption: 20 kg / 1 m² / 10 mm of layer thickness
- compressive strength: ≥ 30.0 N/mm²
- layer thickness: 10 - 80 mm

Step 6. Pointing

Avoid foot traffic for 24 hours to allow the mortar to set. Cover the area with the protective sheets. When the mortar sets, finish off the pointing. Pointing mortar should be a semi-dry mixture of sand and cement in 4:1 proportions. Too wet or too dry mortar may cause shrinkage. To prevent water seepage you might consider using a sealant, but bear in mind that sealants might cause discolouration. We advise following manufacturer's manual.

For the purpose of the second part of this guide, as an example, for the subsequent steps we will use a ground patio, on a compact, concrete slab carrier substrate. It can be finished with any decorative materials, for instance tiles.

Step 1. Preparing the substrate

Preparatory work must begin with an accurate inspection of the substrate. It is necessary to preserve a fall of 1.5-2%, which will enable an efficient flow of water out of the contour of the terrace. Should the fall be smaller, it will be essential to add an additional layer of concrete floor in a separate stage of work.

Using a level, check that the surface is even. Any inequalities need to be removed with a hammer and chisel. Next, measure the height available for the performance of works. As part of the estimations, take into account the possible need to add fall (the thickness of the additional downward layer), the height of the sealing layers and adhesive, as well as the thickness of the planned ceramic tiles.

External surfaces, such as terraces or balconies, absolutely require appropriate carrier substrate, which will allow for proper load distribution. They must be clean, dry and free of cracks and any non-load bearing layers, which reduce the adhesion of subsequent layers. This means cement residue and any loose dirt. Any possible cracks must first be made good, before moving on to the next stages.

Step 2. Fix cracks in the floor

Cracks and grooves and the width of cuts in the floor must be visibly marked. Cracks should be widened using braces, to facilitate effective and durable resin fill-in and reinforced. While performing injections, be careful of their depth, so as not to weaken the substrate. After making a cut, get rid of dust and loose fragments, insert braces into the prepared cracks, and fill with the appropriate resin.



Step 5. Laying the paving slabs

Firstly ensure there is a bed of mortar for the first slab, approximately 2-3cm deep. Insert spacers between the paving slab and edging to keep pointing the same. Continue laying slabs according

to the required design. Use a spirit level to ensure the fall is maintained away from the building. Adjust the amount of mortar where necessary. Allow 10mm-30mm gaps between slabs of natural stone, 10mm-15mm for straight edge slabs.

CUT HERE AND SAVE

CUT HERE AND SAVE



Step 3. Priming the substrate

UNIGRUNT or AVAL KT17 might be used to prime the substrate. Priming will reduce the absorption, bind loose, fine residue and simultaneously increase the adhesion of subsequent layers.

Step 4. Create the required fall

Substrate falls of 1.5-2% are necessary for smooth removal of water from the patio surface. If the existing fall is insufficient (a common issue) or non-existent (even more frequently), it needs to be added. There are two options to choose from: make a pitched screed or a smoothed screed. Regardless of the method, the fall always must be shaped on the construction substrate, that is, before laying the seal layer.

Example of calculation of the required pitch

Patio overhang (distance from the wall of the building to the outer edge with water drainage) is 4 m. Within this section, the pitch must change by at least 1.5 cm on each subsequent meter (i.e. 1.5%, preferably about 2%). This means that the difference in height between the wall of the building, and the outer edge of the drainage must be at least 6 cm (preferably 8 cm).

Variant 1. Pitched screed

First, make the necessary measurements at the walls. Make the screed using the "wet on wet" method, firstly wetting the substrate with water and then applying a quick-setting mortar (Atlas Postar 20, 40, 80, 100), which will serve as a bridge for the screed cement and drainage mortars. Pour the mortar into a measured amount of

water and mix mechanically to achieve a uniform, lump-free consistency. Pause mixing, due to the time required for maturation, and then mix again. Start applying the mix from building walls, taking care not to cover a too large surface area, because the mortar screed will also have to be applied by the "wet on wet" method.

To perform the screed, you will need a fairly thick pitched layer, due to a usually wide patio outreach. The mortar is then distributed by means of a shovel, to the height indicated earlier and thickened, by initially tamping down. Thus, distributed mortar is then thickened again, with a float or a trowel, and then levelled. The surface is then checked and swiped down with a long floating rule with a level, which will facilitate to control the executed fall. After 12 hours, we can clean the edges to allow the installation of flashings and sealing coatings, then cut off the excess string level.

Variant 2. smoothed screed

In case where the substrate requires only smoothing to make a fall, the work also starts with applying string level onto the substrate, and then marking the height to which we will apply the cement mortar. In the case where we can use a thinner layer, apply the self-levelling mortar, which is applied in layers with a thickness of 3 mm to 30 mm. Measure out the right amount of water and pour the mortar powder in. Information on the ratio of water to the amount of mortar can be found on the bag. Mixing should be paused for 3-5 minutes, to observe the required curing time, then continued until obtaining a homogenous consistency without lumps. Thus prepared mortar is then applied to the surface.

The application of the mortar should start from the highest designated point, all the time checking the appropriate thickness. The whole layer needs to be sharply evened with a float, regularly observing the beforehand marked maximum height of mortar. Starting from the highest point, even out the mortar layer with a float, regulating level and fall of the surface.

The outer edges need to be then cleaned with a wet brush to prevent subsequent sharp edges, improper for the placement of tile sealing layers. Cut off the excess string level, and then check the fall and level of the surface with a long level. Any lumps should be removed and any hollows evened-out with a spatula.

Step 5. Edging

Equally important to the appropriate surface preparation of the patio is to ensure accurate treatment of its leading edge. Vertical should effectively drain water outside the entire frame of the patio, and at the same be protected against the ingress of moisture and water from soil.

Preparing the leading edge of the patio begins with proper surface preparation. These surfaces must be even and free of dust or loose particles and properly primed. Any inequality in the patio front part, including the contact area of the construction plate with the newly laid self-levelling layer must be made good using the mortar.

After curing the mortar, the edges are ready for further flashing and application of seals. The finish of the outer edges of the patio can be performed in various ways.

QUALITY THERMAL INSULATIONS FOR FAÇADES & INTERNAL WALLS

Polystyrene (EPS) Panels | Polyurethane (PUR) Foam Panels
Mineral Wool Rolls & Slabs | Polyisocyanurate (PIR) Boards
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Measuring tools & equipment

One of the most common tools on construction sites are levels, used to measure the grade of the area or to take correct measurements of walls, elevation, floor, etc. Construction sites require a significant amount of precision when it comes to measuring. A level is used to measure the area accurately. Measurements can be done horizontally, vertically, or at an angle. It is an essential tool and there is a broad selection of levels available on the market today. With the various models, types and prices how to determine which level to use for a particular job?

The type of the level depends on the particular job. Firstly we can distinguish between levels for exteriors and interiors works. Exterior works often require larger levels or laser levels, which are used to determine the area. For interior works, basic spirit levels are the most common. Spirit level has



Slowik Level 'Herkules'

a tube mounted in the centre with an air bubble to check the horizontal levels, while some have additional tubes for checking angles too.

Examples of uses of level for exterior works

Site layout for a new foundation - any new site plan or foundation required the adequate measurements based on the structural engineering drawings- carpenter level

Shooting the grade for footer, foundation, excavation, drainage - laser level

Laying drainage - laser levels help to estimate the degree of slope and to lay the drainage in a way it will adequately channel the excess water

Levelling the elevation - to identify the horizontal and vertical levels

Sewage layout - often used to estimate the degree of pipe fall

Patios, paths and driveways - used to check the measurements and accurate levels

Bricklaying

Examples of uses of level for interior works

Floor installation, Dry lining, Door and window installation, Plastering, and many others

What type of level to purchase?

Depending on the application's requirements there are available levels with various cross-sections and wall thicknesses. The spirit level is mostly powder coated, painted or anodised. Below are some of the most common level measurement tools:

Anodised levels - made from an aluminium profile of section, with highly impact-resistant plastic plugs and acrylic indicators.

Painted levels - made from an aluminium profile of section, powder painted surface in orange, highly impact resistant plastic plugs. Weight 650g/m. Accuracy: 0,017=0,3 mm/m, for instance:



Slowik Level 'Athena' - stronger profile, height 50mm, used mainly for tiling, dry lining and other light construction jobs. It had the restricted slide thanks to pattern surface. Accuracy 0,3mm/m and grade 2%.

Slowik Level 'Herkules' - stronger profile, height 60mm, used mainly for levelling footers and foundation works (for lengths of 200cm and 240cm), for measuring of patios, terraces, pathways, bricklaying and other general building works

Electronic levels - made of aluminium profile of section, highly impact resistant plugs, acrylic indicators, silver colour anodised surface, Weight Accuracy: 0,017=0,3 mm/m

Traversing rules - made of an aluminium profile of section, highly impact-resistant plastic plugs. Accuracy: 0,057=1,0mm/m, weight 911 g/m

It is used in various construction and surveying works. Different models are available. Some of the rectangular cross section or with an integrated one or two vials, horizontal and vertical, so it is also possible to use the tool as a level.

Folding traversing rules - made of an aluminium profile with highly impact-resistant plastic plugs. Weight: 911 g/m, Accuracy: 0,057=1,0 mm/m Used for skin coat levelling.

Trapezoid floating rules - made of an aluminium profile highly impact-resistant plastic plugs. Weight: 840 g/m or 1070 g/m. Used for skin coat levelling, designed for smoothing gypsum plasters.

H-type floating rules - made of an aluminium profile highly impact-resistant plastic plugs. Weight:



Tool for string line level (PDM31) - designed to easier and quicker installation of string line level. It saves time (within year it saves up to nine working days in comparison to traditional method when string level is tied to the wooden stake.)

972 g/m or 700g/m. With the H-shaped cross section. Used for skin coat levelling, designed for smoothing gypsum plasters.

Angle Gauges - made of an aluminium profile highly impact-resistant plastic plugs. With acrylic indicators, some models with integrated voids. Accuracy: 0,0057=1,0 mm/m. Used to check the angles (bricklaying, plastering, tiling, dry lining, etc.)

Angle gauges twist - place the gauge in position, rotate the arms into position, and the angle will then be accurate. With integrated voids. Cross-level- used to level the surface correctly

Road building angle gauge - made of an aluminium profile highly impact-resistant plastic plugs. Silver colour anodised surface. Used for construction of pathways, driveways, patios, etc.



Masonry

Levelling T-bar - made of an aluminium profile highly impact-resistant plastic plugs. Silver colour anodised surface. Used for checking and measuring the angle (walls, floors, corners, etc.)

Optical surveyor's level with tripod - land surveyor kit

Telescopic measurement rule - telescopic rule is designed for measuring the widths and heights of openings. Easy to use- place the telescopic rule in position, pull out the extending sections and read the measurement.

Distance meter laser - used to measure distance and estimate an area, quickly measure difficult to access areas, like high ceilings, can be used outdoors and indoors, LCD display for measurements. Allow measurement with a millimetre accuracy.

Spirit level - Vials allow defining slopes (for pipes), horizontal and vertical levels. Spirit levels are one of the oldest tools used in construction. Vial consists of a barrelled glass or plastic tube, with two marking lines, containing a transparent liquid. When the level is correct, the bubble will come to rest between the two marked lines. There are several types of the vial to measure exact horizontal, vertical and different angles. Available in compact sizes can be used to measuring fence posts, plumbing pipes

DELIVERY



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* Terms & Conditions apply

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Builders Sustainability Guide

The UK's housing stock is amongst the least energy efficient in Europe and has an impact on the UK's annual carbon emissions. Improving energy efficiency of buildings will help to save on energy bills, reduce emissions and make homes more comfortable to live. In larger spectrum sustainable houses will help reduce reliance on fuel imports and will help meet UK's targets of an 80 per cent reduction in carbon emissions by 2050.

This guide is a step by step advice for builders on how to make an existing houses more energy efficient. Every month we will publish the extract from 'An Illustrated Guide to Building Energy Efficient Homes' by Low Carbon Hub to help LCH raise the awareness about the retrofits and refurbishments options. This guidance should help builders improve their services with regards to refurbish-

ment or quality of new builds. Following the presented advice will help builders meet requirements of Building Regulations, reduce the risk of condensation, heat loss and damp in the completed refurbishments or new builds.

We recommend to cut the poster presented on the next page and save it for future reference or display it on site.

SUMMARY - TOP ISSUES LEADING TO POOR PERFORMANCE



PROBLEMS

- Different, lesser performing insulation fitted.
- Insulation not installed correctly – gaps behind insulation around cavity closures. e.g. insulation cut short of reveals.
- Product substitution for poorer materials: blocks, insulation, windows, lintels, boiler, controls, fans, windows, doors and lights all affect the energy efficiency of a new home.
- Air leakage through small gaps in insulation, blockwork and plasterboard can lead to heat losses and condensation issues.
- Ventilation fans not commissioned correctly. Domestic Ventilation Compliance Guide not followed.
- Cold air blowing behind or through insulation. e.g. insulation floating off substrate.
- Cold bridging: steel, concrete or timber structure going through insulation layer.
- Site damage of fragile materials including insulation, blocks and windows. Rain and mud will worsen performance of materials.
- Services: ducting, TV aerial, lights can all disrupt insulation in roof causing heat loss / cold spots.
- Windows installed badly leading to airleakage and heat loss.



RECOMMENDATIONS

- Check insulation against design specification.
- Must be installed to BBA or manufacturer guidelines: no gaps, tight up against blockwork or roof/floor to ensure no air route behind insulation.
- Check materials are same as design specification or discuss with architect/designer and site manager.
- Make sure insulation has no gaps and is sufficiently sealed at joints/ends.
- Check against design specification. Commissioning of fans should be completed by a competent person. e.g. BPEC Certification for Domestic Ventilation.
- Fit insulation close to structure, and ensure it is windtight. Seal accordingly.
- Consult with design team. Designer to reduce cold bridges as Part L Building Regulations.
- Ensure that insulation and other fragile materials are not damaged by rain, wind and mechanical damage.
- Check insulation in roof is continuous after all services have been installed. Ensure services in service zone to stop this. Label importance of insulation for homeowner.
- Ensure correct windows installed with less than 10mm tolerance.

FOUNDATION / GROUNDWORKS



1.0

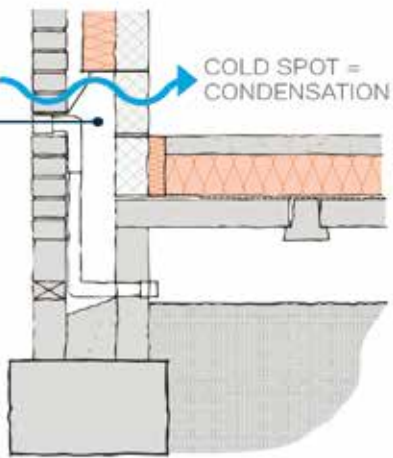


PROBLEM TO AVOID

INSULATION MISSING BELOW DPC



PLAN OF SUB FLOOR VENT BLOCKING INSULATION

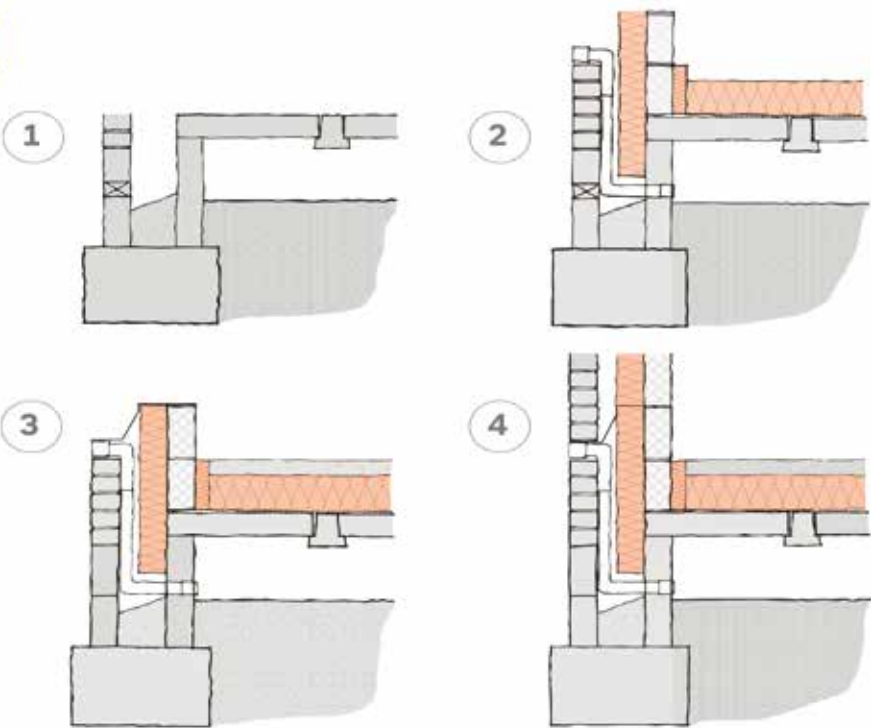


PERISCOPE VENT SECTION



WHAT TO DO?

- Keep cavity and inner block smooth and free of 'mortar snots' (1)
- Fit insulation below DPC level to depth shown in drawing (2)
- Fit insulation boards tight to blockwork with no air gap (3)
- Install cavity tray over insulation (4)
- Use blocks with correct thermal conductivity



GOOD PRACTICE

Continuous insulation below floor level

Please print and use in your site office, for further information www.zerocarbonhub.org





ibb ESTIMATOR

Mobile Building Calculator



SCAN ME



ANDROID APP ON
Google play

Available on the iPhone
App Store

Download the App!



Estimate
It Yourself



Buy
materials



Builders
database



Weekly
deals



Start
tender



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with us



Selfie
with IBB



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Natural stone slab paving

Estimation conditions

- estimated cost for 20 sqm of natural stone slab paving
- materials are delivered on site

NOTICE!

- The below estimation is only the proposal, you can use it at your own risk
- All products are available at IBB; prices before discounts

Sequece of operation

- excavate soil
- clear the surface of area
- lay hardcore and sand layers
- compact layer of hardcore
- compact layer of sand
- lay stone slabs paving
- finish edging
- dry sand cement pointing

TOTAL COST Labour and Materials for 20smq of paving

No	Name	Netto value	Gross value
1.	LANDSCAPING	£2,446.90	£2,936.28
Total:		£2,446.90	£2,936.28



CUT HERE AND SAVE

Detailed estimates

1. LANDSCAPING

1.1. Excavate soil

1.1. - 1 Removing the topsoil layer by hand with wheelbarrow carriage

Measurement: 20.0 m2

Measurement equation: null

No	Typ e	Name	Feature	Dimension	Weight [kg]	Price [unit]	Performance	Qty	[unit]
1.	L	Labour	-	-		£8.00	0.329	6.58	lh
							Total net:	£95.80	
							VAT:	£19.16	
							Total gross:	£114.97	



CUT HERE AND SAVE

CUT HERE AND SAVE

1.2. Firm base

1.2. - 1 Compacting layer of hardcore

Measurement: 4.0 m3

Measurement equation: null

No	Typ e	Name	Feature	Dimension	Weight [kg]	Price [unit]	Performance	Qty	[unit]
1.	L	Labour	-	-		£8.00	5.000	20.00	lh
2.	M	aggregats	hardcore	bulk bag 850kg 0.55m3	850.000	£35.00	1.930	7.72	bag
							Total net:	£588.42	
							VAT:	£117.68	
							Total gross:	£706.10	

1.2. - 2 Compacting layer of sand

Measurement: 2.0 m3

Measurement equation: null

No	Typ e	Name	Feature	Dimension	Weight [kg]	Price [unit]	Performance	Qty	[unit]
1.	L	Labour	-	-		£8.00	5.000	10.00	lh
2.	M	rinsed sand	sharp sand	bulk bag 850kg 0.55m3	850.000	£29.65	1.930	3.86	bag
							Total net:	£271.49	
							VAT:	£54.30	
							Total gross:	£325.79	



1.3. Creting paths, driveways

1.3. - 1 Stone slabs paving

Measurement: 20.0 m2

Measurement equation: null

No	Typ	Name	Feature	Dimension	Weight [kg]	Price [unit]	Performance	Qty	[unit]
1.	L	Labour skilled	-	-		£10.00	0.650	13.00	lh
2.	M	natural stone slab			6.000	£6.17	4.300	86.00	pcs
3.	M	rinsed sand	plastering sand	bag 25kg	40.000	£2.44	3.265	65.30	bag
4.	M	Portland cement	Cement	bag=25kg	25.000	£5.67	0.740	14.80	
5.	M	rinsed sand	sharp sand	bulk bag 850kg 0.55m3	850.000	£29.65	0.154	3.08	bag
Total net:								£1,188.31	
VAT:								£237.66	
Total gross:								£1,425.97	

1.4. Edging

1.4. - 1 Path concrete edging

Measurement: 13.0 m

Measurement equation: null

No	Typ	Name	Feature	Dimension	Weight [kg]	Price [unit]	Performance	Qty	[unit]
1.	L	Labour skilled	-	-		£10.00	0.459	5.97	lh
2.	M	path edging			8.000	£6.92	1.700	22.10	pcs
3.	M	rinsed sand	sharp sand	bulk bag 850kg 0.55m3	850.000	£29.65	0.024	0.31	bag
4.	M	Portland cement	Cement	bag=25kg	25.000	£5.67	0.196	2.55	
Total net:								£302.87	
VAT:								£60.57	
Total gross:								£363.44	

USEFUL TOOLS



£4.17 net



£3.50 net



£9.92 net



£15.75 net



£4.08 net



£5.62 net



£20.42 net



£316.67 net

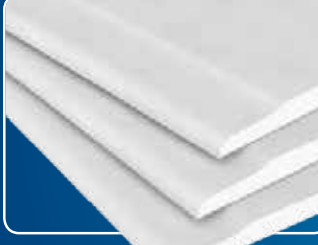
Please note that all above prices are before discounts.

Attention!


Our norms and rates should be taken as a guide only and there are no obligations for anybody to adhere to them. You have to take sole responsibility and apply your own rates to your quotations. Cost of materials can vary from prices shown. We cannot accept any responsibility for anyone using this information – you must make your own checks.

QUALITY DRYWALL


Regular



Waterproof



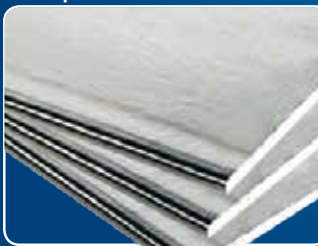
Fireproof




Soundroof




Vapourshield™




Thermal Laminate



Kooltherm Insulated



Cementboard





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CUT HERE AND SAVE

Defects

and Rectification under JCT contract

A construction defect can be described as a faulty workmanship, materials or design. The defect is the work which is done not in accordance with the specification, agreed design or with the building regulations. Defects may occur due to insufficient design, specification problems, poor workmanship or faulty materials.

We can distinguish between patent and latent defects. Patent defects occur immediately, can be discovered during inspection and are easy to identify, while latent defects are revealed at a later date. The example of a patent defect is the omission of painting in the required area, electrical faults or a leaking pipe. Such defects are recorded in the snagging lists at the time of practical completion. Latent defects are for example roof leakage, defective UFH, defective basement or defective foundation, etc. The defects rectification period agreed in construction contract is set for rectifying all latent defects.

Snagging lists are prepared at every construction

project, and it is essential to establish whether the client has the right to have the contractor make defects good before practical completion, at practical completion or during the defects rectification period.

The contractor's liability for defects will depend on the construction contract, whether it is a design and build or construct-only. Defects are often caused due to improper design. Design professionals, contractors and subcontractors can also be liable for defects in design if their contract contains design responsibilities and obligations.

The English law states that all activities undertaken by a contractor prior to practical completion are a work in progress and cannot be classified as defects. It is called a 'temporary dis-conformity'. Construction contracts specify the provisions for defects pre-completion. For instance, the JCT standard contract states that architect or contract administrator can open up for inspection any work covered up or to test materials or goods 'whether or not already incorporated in the Works'. The cost of such inspections or tests is at the employer's risk unless the work is found not to be in accordance with the contract (clause 3.17). Also, the architect/contract administrator has some options where work is found to be defective. These include instructing the removal of any defective works, accepting that the defective work can remain, or order further opening up for inspections.

Under the JCT contract, the contractor is obliged to make defects good identified in the snagging list during the agreed period after practical completion. Defects have to be rectified at no cost to the employer and the period of ratification begins from the date of practical completion of the works for a term specified in the contract, often ranging from 6 months to 24 months. If no period is included in contract six months is the default. The architect or contract administrator is responsible for preparation of snagging list at the stage of practical completion. The list of defects can also be prepared during the rectification period and can be delivered to the contractor as an instruction for 14 days after the expiry of the rectification period.

The client as a security have the agreed in contract retention. Moreover, if the contractor fails to remedy defects, the client has the right to damages. With regards to the latent defects, if the contractor completed all obligations under the contract, including those during any defects ratification period, he has no contractual obligation to remedy any latent defects arising. The client can seek the damages, for breach of contract, or for negligence. In the case of dwellings, there is a statutory remedy provided by the Defective Premises Act 1972. The time limitations are to 12 years under Section 8 of the Limitation Act 1980. If the client will claim for the negligence, the time limit is six years from the date when the damage occurred.

Please note this article is for informative purposes only, in the case of any contractual problems seek the professional or legal advice.

(Source: RICS, JCT)

BUILDING

MATERIALS

WHOLESALE



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Dates for the CEV Challenge Cup for IBB Polonia London VC

December will be a historical month for IBB Polonia London. On 6th December 2016 the first match will take place. It will be the away leg of the "round of 16" of the CEV Challenge Cup. The home leg will be on the 18th December 2016 in Belchatow, Poland. We will find out the opponent towards the end of November. It will either be

Pokka AE Karava from Cyprus or Fino Kaposvar from Hungary.

– We had to wait impatiently for these actual dates. We are delighted that our home game will be during a weekend. I am hoping that this information will be enthusiastically received by our fans, who will be support us in countless numbers

as usual in Belchatow. – said IBB Polonia London President, Bartek Luszcz.

Thanks to the partnership between PGE Skra Belchatow and IBB Polonia London, the match will be played in the sports hall 'Hala Energia'. The aim is to promote global volleyball initiatives.



Newcastle

remains a joyless place for IBB Polonia London Volleyball Club

Once again, Newcastle, the home venue for the second place team, turned out to be unlucky for the players of IBB Polonia London Volleyball Club. On Sunday 23rd October 2016 the first defeat of the season took place. Team Northumbria beat the team from London 3:1 (23:25, 25:13, 25:18, 25:23) and as a result took the lead in the Super 8 League table.

– On Sunday we met a tough opponent. The first set was ours, and then we lost focus giving the advantage to our opponents. We will analyse our game and improve those aspects which let us

down. We lost the game, but we have an outstanding team who will do battle for the title. – informed the Head Coach of the London team, Piotr Graban.

– Today, the other team was better than us. We made too many errors and gave away the initiative and that is what hurts the most. We return without any points, but we will work hard for the next match. We have a short break and then we get back to taking the top of the table position. – commented Marius Ciorte, team captain IBB Polonia London.

– In the league, there are some tough teams, so factors such as lengthy journeys, and unusual sports halls contribute to results of matches. The result often is determined by the events of the day; I imagine every team can beat every other team in the league. The season has only just started, and I am sure that many emotions will come our way. The club and the fan club are already waiting

to welcome Team Northumbria to London! – said President of IBB Polonia London, Bartek Luszcz.

Last week, members of IBB Polonia London, as well as players from the junior football and volleyball sections of the club, met the Minister of Sport from Poland, Witold Banka, while he visited London. The meeting took place in the Embassy of Poland in London. The Minister was presented with a personalised souvenir match shirt. He took the opportunity to chat with players from The Club about sport in Great Britain.

In the coming weekend, the players and coaching staff have the chance for a break from volleyball. They return to play on the 5th November 2016 to the home venue of Brentford Fountain Leisure Centre at 3pm when they host Solent Volleyball Club in the next match of the Super 8 League. Free tickets are available online at <http://polonia.eventbrite.co.uk/>

IBB Polonia London

is victorious without losing a single set

In the last series of matches, IBB Polonia London came up against the team of Solent Volleyball Club. The team coached by Piotr Graban, played at their home venue and defeated the visitors 3:0 (25:21, 25:22, 25:16). Once again they added another crucial three points to their league total without losing a single set.

– I think the players of Solent gave one of the best performances of their season today and in doing so caused us a few problems. They defended and passed well, which allowed them to use their middles well who became quite effective. – commented Piotr Graban – The game showed the effects of our two weeks of hard work. We focused on technique and eliminating unforced errors. We developed out tactical work over the last few weeks which could have caused a number of errors during the match. I'm really pleased with my boys, because through working so well together, we achieved what we decided to achieve before the game began.

– We are delighted with a three points gain. – said captain of IBB Polonia London, Marius Ciortea – The opponents, despite playing really well, were not able to breach our defences. We were very focused and concentrated on a number of pre-match plans. Our team did quite well. We made fewer errors and we finished the sets with a safe margin of points.

Of course, the fans played their part at the home venue. They arrived before the game and made a huge noise supporting the players.

– I'm so pleased with the way our fans support us. We can always count on their presence in the sports hall. Thanks for the support and we invite you to the next match. – said Graban.

– The support of the fans really motivates us.



Monika Jakubowska

We play better when we know that they are behind us and cheering us on. We hope that at each coming game, their numbers increase! – added Ciortea.

The next game will be played on 12th November 2016 against Cardiff Celts from the First Division. This will be the second game that we have

played each other in the KO Cup. The next Super 8 league match will be on the 20th November 2016 at Brentford Fountain Leisure Centre at 3pm. The game will be against local rivals London Lynx.

Free tickets are available online at polonia.eventbrite.co.uk.

Jacek Ambroży
founder and CEO
of IBB Polish Building Wholesale

Sports sponsorship is an unconventional form of promoting a company. IBB Polish Building Wholesale is the Head Sponsor of the current English champions of volleyball IBB Polonia London. The President of the company, Jacek Ambroży reveals some of the secrets behind the relationship between the two organisations.

How long have you been working with Polonia London, and how much longer do you think you will work together?

We made our first contact three years ago, if my memory serves me correctly. Currently IBB is the Head Sponsor and we have recently signed a five year contract with the Club.

How did it all start? What persuaded you to support the team?

Everything started with a few of the fans, who are our customers; builders in actual fact. They approached me asking if I would be prepared to buy them some equipment to help. Seeing that they spoke with such excitement and passion, and I really like people like that, I decided that my support could really help them. That was the moment that my contact with volleyball began in this country. In the following year, the President of Polonia Volleyball Club approached me with a sponsorship proposal and I decided to take up the offer. One of the deciding factors was the enthusiasm of the people belonging to the club who were going above and beyond their responsibilities within the Club. I liked the idea of doing something aiming for success, of doing something with the same passion and intrinsic motivation without any form of reward. I was impressed with these emotions and wanted to help them to achieve these successes.

Did you consider other ways of helping, other than becoming the Head Sponsor?

I didn't think about any other ideas. From the very start I knew that if I was going to become involved at all, I wanted the honour of being Head Sponsor. I really like what the guys are doing and their general approach. The best sportspeople aim for the best results, and I see this in the players of Polonia London. I consider them as equals to engineers, teachers or lecturers, because I know how

INCREASING THE POPULARITY of volleyball in Great Britain

hard they work and how much personal sacrifice is involved to reach their aims.

Does IBB support other sports?

We support a total of three ball sports. They are tennis, volleyball and football. We are strategic in this and are not currently considering other projects. In the future we would like to support individuals with special needs who are not quite so physically able.

What benefits does the company get from these relationships?

Thanks to this work, the company gets business benefits. Marketing in the form of press exposure or radio presence is slowly becoming less beneficial. It is much more cost effective, in my opinion, to become involved in supporting the work of others.

In the last season, IBB Polonia London was extremely successful. The team won everything in Great Britain and now will compete in a European competition. It looks like IBB assessed the potential of the club accurately before it became involved.

I enjoy supporting ambitious sportspeople. Achieving good results gives great satisfaction and personal enjoyment. It also is beneficial from a business point of view. This is exactly what we have experienced. Following our initial involvement, the team achieved some very good results, and as I said, is currently competing internationally. We are delighted that they have managed to do this. In this day and age, just wanting to play international competitions isn't enough. Financial backing is crucial and this is where IBB have helped.

Does the company engage with sponsorship in a complex manner and does it get involved with the running of the Club?

There is no sense in approaching this in any other way. We are constantly engaged with the club. In fact everything we have discussed here has been by mutual consent. As a sponsor, not only are we concerned with financial support, but we try to be involved in other ways. We have helped develop the marketing of the Club. We suggested a portfolio of merchandise for the fans, we also have a regular magazine for our customers called 'Builder' and there are updates about the Club in there. There are

also large sections of information on our website about the Club news. You will see that the Club appears everywhere.

What is the relationship like between the Club and IBB? Do you treat them as students from a business perspective?

We have a partnership. Members from the Club and IBB are constantly in contact. This has resulted from the initial aims of us forming our partnership and for us deciding on sponsorship. We try to take part and be present during matches, to talk with the players, coaches and members of the Club. As a company, we function well in the marketplace and often talk about the Club during meetings. From these discussions arose the idea of merchandising.

Is the popularity of the Club increasing?

We are constantly looking for ideas that will increase exposure. We would like to increase the level of interest of companies like Eurosport; volleyball in England is in its infancy. One of our aims is to increase the popularity of the sport in the UK. The potential is there to see in Poland where volleyball is loved by all. We see similarities in Britain where sport in general is also followed passionately by many. We need to increase volleyball's popularity here.

So what can be done to encourage other sponsors to invest in volleyball?

We have, together with the Club President, worked on a plan to find new sponsors. We understand the notion of 'the more the merrier'.

What does the relationship with other Polonia sponsors look like?

IBB is very happy to work with the other sponsors. We are eager to meet and discuss ideas together. In one of the issues of 'Builder' magazine, we thanked all of the other sponsors (naming them individually) for supporting the Club. I have no objections to encouraging them, promoting them and enticing new sponsors in joining us. We are even open to resigning from the Head sponsor position, if a new company wishes to beat our current package. We know how much we help the Club and are aware that finding our successor may be difficult. Our philosophy is for the good of the Club and its development.



IBB Polonia Football Club

Last month at IBB Polonia Football club was very intense, 9 training sessions 12 hours of exercise and 8 matches. All coaches and players are happy with the individual and team improvements.

At IBB Polonia we have five different age groups in three different locations Shepard's Bush, Streatham and Hanwell. All managers and coaches at our club use one system, which we have created

to deliver age-appropriate training sessions to support long-term player development. We promote a holistic approach based upon the FA's four-corner model (Technical, Physical, Psychological and Social) for long-term player development, with age appropriate coaching support for players aged 4-6 and 7-11. Our trainings sessions are also based on 'Coerver coachin'g system, which is Dutch World leading technique program. At least 25 minutes of training is based on technical aspects such as dribbling or skills.

Parents and Guardians are delighted with the club Philosophy and coaching system. The feedback we received is very positive. In December IBB Polonia

football Club will take part in Christmas Tournament organised by London Eagles at Wembley Stadium Powerleague, this will be a great opportunity for our players and coaches to challenge strong teams just before the start of the league in January.

As a Club to promote Physical Activity and Fitness we have organised and Football match between coaches and parents to show that anyone can play football at any age. The game will take place in Shepard's bush 11 of December. Everyone is more than welcome to join.

From January we will register another two teams to Harrow Youth League under 8 and under 11.

DoLONIA LONDON VC IBB POLONIA LONDON VOLLEYBALL CLUB
SHOP



polonia-volleyball.myshopify.com

REVIEW OF RECENT FOOTBALL MATCHES

IBB Polonia FC U10 20/11/2016
ST. Josephs Yoth FC 3:3 IBB Polonia FC

Goal scorers IBB Polonia FC:
David Kryszak x2
Aleksander Niski x1

Team IBB Polonia London FC:
goalkeeper Oskar Zrzycki po przerwie Adrian Mes, Aleksander Niski (kapitan), Adrian Stefański, Alan Pakuła, Kacper Choina, David Kryszak, Alex Krusiński, Colin Ostrowski, Fabian Kapusta

Another game of struggle and another match in which we lose goals at the beginning of the meeting. Individual errors and lack of communication between line of defense and the goalkeeper. Until halftime the score was 3:0 for St. Josephs. In the second half IBB Polonia once again shows how football should be played. The advantage from the very beginning, high pressing and tough game from our boys allowed to make up for the loss. Match ended with a draw 3:3. In the second part of the meeting we created a lot of situations for scoring a goal. We hit the post twice, the bar once and the good attitude of the goalkeeper from St. Josephs leaves us a little unsatisfied. Considering the development of the meeting, the draw is a fair result. In today's match the players that stood out were Aleksander Niski, David Kryszak and Adrian Mes. I thank my players for their commitment and will to fight. Of course we do not forget about our faithful fans who support us regardless of the result. Thanks a lot!!!

Coach: PAWEŁ JURGIELEWICZ

IBB Polonia FC U7 13/11/2016
IBB Polonia FC 16-0 St Joseph's

Goal scorers:
Alan Kapusta (x1)
Norbert Stefanski (x2)
Konrad Paliwoda (x5)
Adrian Laskowski (x3)
Kevin Kozik (x2)
Olivier Kryszak (x3)
Kamil Grodzki

Another very good match of my team. It was a real festival of goals for the guys. Even though the opponent was fighting bravely, the boys have perfectly fulfilled my commands and tasks which I had assigned to them before the game. On that day the player that stood out was Kevin Kozik. In the first half he saved our team from losing a goal, and in the second part of the game he was able to score two beautiful goals by himself. Another player that deserves to be distinguished is Kamil Grodzki that stood out on the field with his fight and dedication and made 3 assists. I would like to thank all the parents present on Sunday for exemplary behaviour during the match.

Coach: MARCIN WANOT

IBB Polonia FC U10 13/11/2016
IBB Polonia FC 1:2 Spartans Youth

Goal scorers IBB Polonia FC:
David Kryszak x1

Team IBB Polonia FC:
goalkeeper Oskar Zrzycki po przerwie Adrian Mes, Aleksander Niski, Adrian Stefański, Alan Pakuła, Kacper Choina, David Kryszak, Alex Krusiński, Colin Ostrowski, Fabian Kapusta

Today we had an encounter with a challenging opponent. The Spartans team put up a harsh fight. In the first half we lost two goals after our errors. Throughout the second half of the team IBB Polonia controlled the game and tried to attack but as a result we were able to score only one goal. In conclusion, the first part was dominated by the Spartans and the second part - by IBB Polonia. Another game and another experience collected. Thank you to all the players and our wonderful parents for cheering.

Coach: PAWEŁ JURGIELEWICZ



IBB Polonia FC U10 06/11/2016
TFA Bushey 3:6 IBB Polonia FC

Goal scorers IBB Polonia FC:
David Kryszak x5, Oliver Michalik x1

Team IBB Polonia London FC: goalkeeper Oskar Zrzycki po przerwie Adrian Mes, Aleksander Niski (kapitan), Adrian Stefański, Alan Pakuła, Kacper Choina, David Kryszak, Alex Krusiński, Colin Ostrowski, Fabian Kapusta

Today we played the second leg encounter with TFA Bushey team. From the first whistle the players of IBB Polonia were in full swing. As early as in the 25th second of the game David Kryszak scored the first goal after an individual action. Apparently, that was his day. Teamwork, good defensive and midfield allowed us to control the match from the start until the end. Without a doubt, a David Kryszak's performance deserves a big praise - today he has scored as many as 5 goals. I would like to thank my boys for their commitment and their parents for mannerly cheering.

Coach: PAWEŁ JURGIELEWICZ

IBB Polonia FC U10 06/11/2016
Princess Park 4-6 IBB Polonia FC

Goal scorers:
Alan Kapusta (Kapitan)
Norbert Stefanski (1x)
Kamil Grodzki
Jakub Moskwa
Konrad Paliwoda (3x)
Olivier Kryszak
Adrian Laskowski (2x)

Another very good match of my team. In this game the boys were able to create the actions from the goalkeeper, performed 7-8 passes and gave the shot on target. Due to lack of concentration in the end, we lost 3 goals in the last 7 minutes. It is worth to mention the performance of Konrad Paliwoda who helped the team well in attack and in defense. All the boys presented themselves very well and have contributed to the victory. Heavy and regular workouts are showing effects in the form of a very good game.

Coach: MARCIN WANOT

IBB Polonia FC U10 30/10/2016
IBB Polonia FC 4:1 TFA Bushey

Goal scorers IBB Polonia FC:
Aleksander Niski x2, David Kryszak x2

Team Polonia London: goalkeeper Oskar Zrzycki po przerwie Adrian Mes, Aleksander Niski, Adrian Stefański, Alan Pakuła, Kacper Choina, David Kryszak, Alex Krusiński, Colin Ostrowski, Fabian Kapusta

Another match in which we showed that we know how to play football. I am very pleased that despite the small mistakes that really are factored in the game, the boys can fight and create actions with up to 8-10 passes without losing the ball. I always tell my players that the aptitude may be lacking, but ambition and the will to fight should never be lacking. Another victorious game for IBB Polonia FC. The game looks better with each match.

Coach: PAWEŁ JURGIELEWICZ

IBB Polonia FC U7 30/10/2016
IBB Polonia FC 12-3 Parkfield Youth

Goal scorers:
Alan Kapusta (Kapitan)
BRAMKI:
Kevin Kozik (x3)
Olivier Kryszak (x4)
Konrad Paliwoda (x2)
Kamil Grodzki
Jakub Moskwa
Norbert Stefanski (x3)

This time the young players of IBB Polonia had to face a very strong rival, Parkfield Youth. The game of the entire team today was very good and most importantly the boys are slowly starting to create very well-rounded actions. It is worth to distinguish the hard work of our captain Alan Kapusta and great performance protecting the goal by Olivier Kryszak. The most important part is not the result but the joy of the game and the smile on the faces of young players, despite the victories we cannot forget the boys are still learning, and slowly, in small steps, they move forward.

Coach: MARCIN WANOT



Football News

NEWS 1

Borussia Dortmund wins with Bayern Munich 1-0

Pierre-Emerick Aubameyang's first-half strike gave Borussia Dortmund victory in the 11th minute. It was also their first home victory over Bayern Munich since April 2012. Dortmund climbed to the third spot. Bayern is now three points away from Bundesliga favourites RB Leipzig.



NEWS 2

Ronaldo scores hat-trick during Madrid derby

The Portugal forward scored 39th hat trick in his career and gave Real Madrid win over Atletico. They now have four point lead over Barcelona. In total Ronaldo has scored eight La Liga goals for the European champions this season He also recently signed the contract with Real Madrid until June 2021 and claimed he can play on until he is 40.



NEWS 3

Arsenal snatched a 1-1 draw with Manchester United at Old Trafford

Oliver Giroud's 89th minute goal earn Arsenal a point and denied Jose Mourinho's team the well deserved win. United had the control during the game and restricted Gunners to one opportunity. Giroud came off the bench and scored the goal at the last minute saving the Arsenal from the defeat. Arsene Wenger has not won at Old Trafford in the Premier League since September 2006.



NEWS 4

Chelsea is winning for the sixth time in the row

Diego Costa scored against Middlesbrough at the Riverside Stadium and helped Chelsea move to the top of the Premier League. He has been involved in 13 Premier League goals (10 goals and 3 assists) more than any other player. It was the sixth in the row win for the Blues.



NEWS 5

Juventus youngest player makes the history

Moise Kean became the first 16-year old player in the Europe's top four leagues. The Italian Under-17 striker replaced Mario Mandzukic with six minutes left after being on the Juventus bench for five Serie A games this season. The 3-0 win over Pescara gave Juventus seven point lead to the second placed Roma.



NEWS 6

Barcelona's goalless draw against nine men Malaga

Barcelona did not score any goal during the game with Malaga after Luis Suarez and Lionel Messi missed the game. Suarez was suspended at the Camp Nou and Lionel Messi missed following the illness. Gerard Pique shoot the ball to the net for Barcelona but it was flagged as the offside and later Andre Gomes hit a post. Barcelona remains in the second place at La Liga but it is now four points away from leader Real Madrid.





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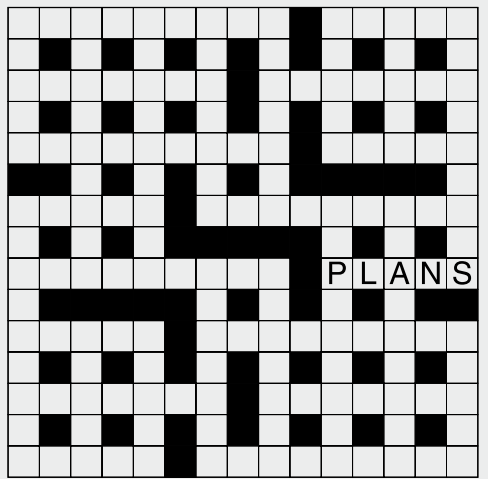
Puzzlexperts

Place all the words listed into the grid. Each word can be used once only. The first word has been filled in.

5 LETTERS: Added Cadet China Hoses Kilts Laser Libel Liked Nudge Plans Roars Solve

7 LETTERS: Aspires Discord Linings Meddler Ridding Settler Unbolts Younger

9 LETTERS: Answering Appliance Browbeats Cameramen Cranberry Districts Geriatric Megastars Patriarch Rear-range Sorceress Trembling



Sudoku

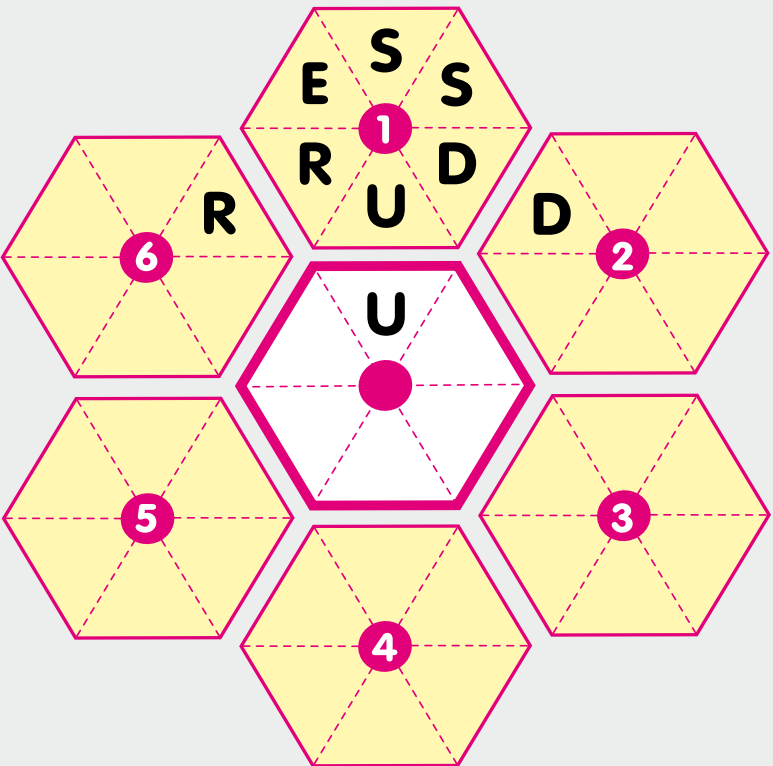
			2	8				
		3				1	2	8
			1	6	4	7		5
	5		8			4	7	6
4			7		5			9
2	1	7			6		5	
9		6	4	1	7			
7	8	4				3		
				9	8			

HEXAGON

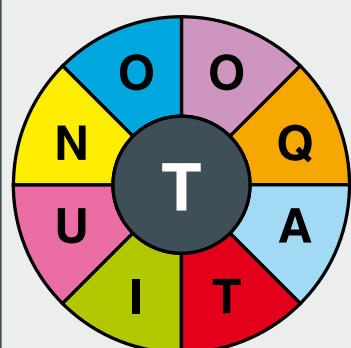
Use the clues to fill in the spaces in the numbered hexagons. Each answer runs clockwise but can start anywhere in the shape.

- CLUES
- 1. Coercion
 - 2. Sidesteps
 - 3. Puzzle
 - 4. Yield
 - 5. Tempting
 - 6. Respect, ... highly

Where hexagons touch, they have the same letter. We've given you the first answer. The letters in the white hexagon reveal a mystery keyword.



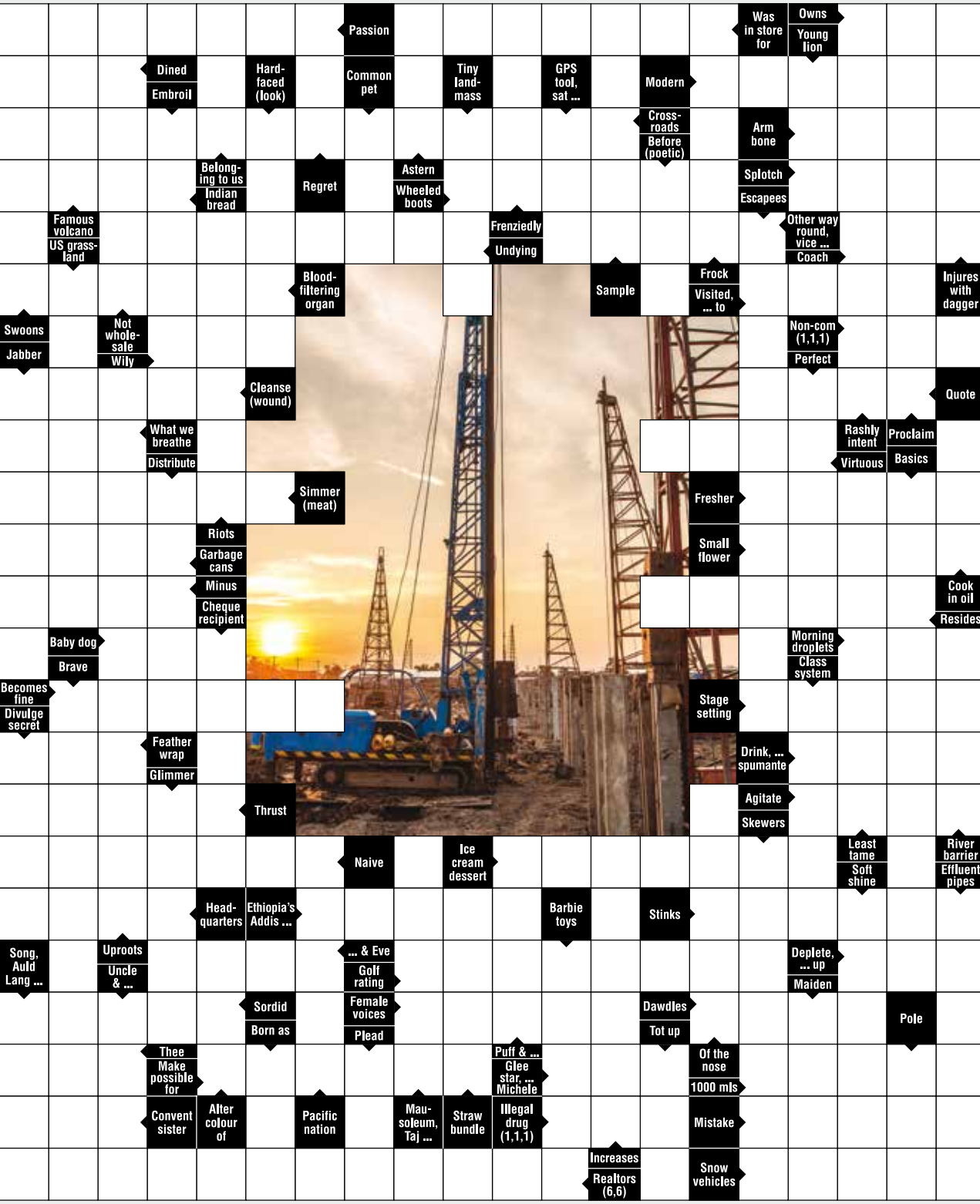
Wheel Words



Create as many words of 4 letters or more using the given letters once only but always including the middle letter. Do not use proper names or plurals. See if you can find the 9-letter word using up all letters.

13 Good 17 Very Good 20+ Excellent

Crossword with IBB



by Szczepan Sadurski

Laugh with IBB

Find 10 differences ...



An apprentice at a funeral home receives a task of giving a widow her husband's cinerary urn. He gets on his bike and with sets out the urn.

Because it's slippery, it happens what had to happen: he falls off his bike, the urn hits the ground, it opens and the ashes are blown by the wind. Nevertheless, its doesn't bother the apprentice. After a while he fills the urn with the content of the nearest dustbin.

After an hour the widow opens the cover of the urn and sighs heavily, when she sees its content:

- The whole Tony, it typical of him! Even after his death he remained himself. Four durries, two used condoms and this battery that he swallowed when he was drunk in 1969.

Three criminals go to jail. Each of them has with him one thing owing to which he won't be bored in jail. One of them asks the other sitting next to him:

- What have you taken with you?

The other criminal takes out paints and says:

- I'll be painting, the time will fly fast. And what have you taken with you?

- Cards. I'll be playing and the time will fly faster.

The third criminal sits silently in the corner and smiles.

- Why are you so happy? ask him the others.

He takes out a box of tampons and says:

- I've got these!

- What are you going to do with them?

The third one starts to read from the box:

- One can ride a horse, swim, skate.

A beggar knocks at a rich lady's door and asks:

-Have you got any empty beer bottles?

-Outrageous! Do I look like a person who drinks beer?

-Oh, I'm sorry. Have you got any empty vodka bottles?

According to the latest survey, in Germany 30% of men ask the following question after having sex: And how was it? The remaining 70% of men don't talk with their hands.

The husband comes back from an official trip and goes straight to the wardrobe. He opens it ... but here there is nobody to drink with.

From the noticeboard in our parish: The topic for today: Do you know what the hell is like? Come and listen to our organist.

During a ballet performance:

-I've always been watching these female ballet dancers. They rush about during the whole performance on their toes, on the very ends of them. Cripes, why didn't they simply employ taller dancers?

Year 1944, an American sergeant instructs the soldiers:

-As we will be landing, watch out for sharks and barracudas. As soon as you are on the land, remember about poisonous snakes. Don't drink local water, because you might go down with enteric fever. Berries and mushrooms are mainly poisonous. Remember that spiders and insects can bite seriously. Any questions?

- Sir, why do we fight with the Japanese for this damned island?

Illustrations by Szczepan Sadurski

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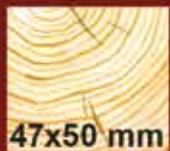
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